



CERTIFICATE OF APPROPRIATENESS

Reviewed by the Houston Archaeological and Historical Commission

ITEM A12
HPO File #: HP2026_0250

September 10, 2026

1650 Cortlandt Street
Houston Heights East

Applicant: Sam Gianukos, agent for Cassie Hartline, owner

Property: 1650 Cortlandt Street, LT 26, BLK 115, Houston Heights. The property is a 2,726 square foot two-story single-family residence situated on a 7920 square foot (60' x 132') corner lot.

Significance: Contributing 2 STY colonial revival single family residence constructed circa 1937, located in the Houston Heights East Historic District.

Proposal: New Construction – Garage apartment

The applicant proposes to...

- Construct a new 2-story garage with a garage apartment

Public Comment: No public comment received.

Civic Association: No civic association comment received.

Recommendation: Approval

HAHC Action: -



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APPROVAL CRITERIA

NEW CONSTRUCTION IN A HISTORIC DISTRICT

Sec. 33-242(a): HAHC shall issue a certificate of appropriateness for new construction in a historic district upon finding that the application satisfies the following criteria:

S D NA

S - satisfies D - does not satisfy NA - not applicable

- ☒ ☐ ☐ (1) The distance from the property line of the front and side walls, porches, and exterior features of any proposed new construction must be compatible with the distance from the property line of similar elements of existing contributing structures in the context area;
- ☒ ☐ ☐ (2) The exterior features of the new construction must be compatible with the exterior features of existing contributing structures in the context area;
- ☒ ☐ ☐ (3) The scale and proportions of the new construction, including the relationship of the width and roofline, overall height, eave height, foundation height, porch height, roof shape, and roof pitch, and other dimensions to each other, must be compatible with the typical scale and proportions of existing contributing structures in the context area unless special circumstances, such as an atypical use, location, or lot size, warrant an atypical scale and proportions;
- ☒ ☐ ☐ (4) The height of the new construction must not be taller than the typical height of existing contributing structures in the context area unless special circumstances, such as an atypical use, location, or lot size, warrant an atypical height, except that;
- (a) Design guidelines for an individual historic district may provide that a new construction with two stories may be constructed in a context area with only one-story contributing structures as long as the first story of the new construction has proportions compatible with the contributing structures in the context area, and the second story has similar proportions to the first story; and
- (b) A new construction shall not be constructed with more than one story in a historic district that is comprised entirely of one-story contributing structures, except as provided for in design guidelines for an individual historic district.

HEIGHTS DESIGN GUIDELINES

- ☒ ☐ ☐ In accordance with Sec. 33-276, the proposed activity must comply with the City Council approved Design Guidelines.

HEIGHTS DESIGN GUIDELINES MEASURABLE STANDARDS

S D NA

S - satisfies D - does not satisfy NA - not applicable

- ☒ ☐ ☐ Maximum Lot Coverage (Addition and New Construction)

Existing Lot Size: 7,920
Max Lot Coverage Allowed: .38 (38%) / 3,010 sq. ft.
Proposed Lot Coverage / Coverage %: 1947 = 24.58%



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Maximum Floor Area Ratio (Addition and New Construction)

Existing Lot Size: 7,920
Max FAR Allowed: .42 (42%) / 3,326 sq. ft.
Proposed Lot Coverage / Coverage %: 527 = 6.65%

☐ ☐ ☒

Side Wall Length and Insets (Addition and New Construction)

MEASUREMENT	APPLICATION
50 FT.	Maximum side wall length without inset (1-story)
40 FT.	Maximum side wall length without inset (2-story)
1 FT.	Minimum depth of inset section of side wall (1-story)
2 FT.	Minimum depth of inset section of side wall (2-story)
6 FT.	Minimum length of inset section of side wall

Side Wall Length: INSERT SIDE WALL LENGTH HERE
Inset on LEFT OR RIGHT side: INSERT INSET LENGTH HERE
Inset on LEFT OR RIGHT side: INSERT INSET LENGTH HERE

☐ ☐ ☒

Side Setbacks (Addition and New Construction)

MEASUREMENT	APPLICATION
3 FT.	Minimum distance between side wall and the property line (for lots less than 35 feet wide)
5 FT.	Minimum distance between the side wall and the property line
REMAINING	Difference between minimum side setback of 5 feet and minimum cumulative side setback
6 FT.	Minimum cumulative side setback (for lots less than 35 feet wide)
10 FT.	Minimum cumulative side setback (1-story house)
15 FT.	Minimum cumulative side setback (2-story house)

Proposed side setback (LEFT OR RIGHT) side: INSERT SIDE SETBACK LENGTH
Proposed side setback (LEFT OR RIGHT) side: INSERT SIDE SETBACK LENGTH
Cumulative side setback: INSERT CUMULATIVE SIDE SETBACK LENGTH

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Eave Height (Addition and New Construction)

PRIMARY BUILDING (2-STORY)	
MEASUREMENT	APPLICATION
20 FT.	Maximum 2-story eave height (at 5 FT. minimum side setback)
22 FT.	Maximum 2-story eave height (at 7 FT. or greater side setback)

Proposed eave height: INSERT EAVE HEIGHT

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Front Setbacks (New Construction)

The setback is the distance from the property line to the front wall, porch, or exterior feature.

Proposed front setback: INSERT FRONT SETBACK

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Front Wall Width and Insets (New Construction)



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MEASUREMENT	APPLICATION
30 FT.	Maximum front wall width before inset
4 FT.	Minimum width of inset section of front wall
40 FT.	Maximum width of 1-story building (for lots ≤ 50 FT. wide)
35 FT.	Maximum width of 2-story building (for lots ≤ 50 FT. wide)
50 FT.	Maximum width of building (for lots ≤ 50 FT. wide)

Max front wall width: INSERT FRONT WALL WIDTH

Max front wall depth: INSERT FRONT WALL DEPTH

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Front Porch Width and Depth (Addition and New Construction)

The width of a porch is measured between the corners of the porch foundation at the front of the porch.

MEASUREMENT	APPLICATION
6 FT.	Minimum depth of front porch
50%	Minimum percentage of front wall width covered by porch

Proposed front porch width: INSERT FRONT PORCH WIDTH

Proposed front porch depth: INSERT FRONT PORCH DEPTH

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Porch Eave Height (Addition and New Construction)

MEASUREMENT	APPLICATION
9-11 FT.	Minimum and maximum 1-story porch eave height

Proposed porch eave height: INSERT PORCH EAVE HEIGHT

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Building Wall (Plate) Height (Addition and New Construction)

MEASUREMENT	APPLICATION
36 IN.	Maximum finished floor height (as measured at front of structure)
10 FT.	Maximum first floor plate height
9 FT.	Maximum second floor plate height

Proposed finished floor: INSERT FINISHED FLOOR

Proposed first floor plate height: INSERT FIRST FLOOR PLATE

Proposed second floor plate height: INSERT SECOND FLOOR PLATE

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Rear Setbacks (Addition and New Construction)

MEASUREMENT	APPLICATION
3 FT.	Minimum setback from rear property line
0 FT.	Front-facing garage (with rear wall at alley)
20 FT. (24 FT. preferred)	Minimum clearance from alley-loading garage from either an opposing alley-loading garage door, rear wall of a front-facing garage, or fence

Proposed rear setback: 3'

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Detached Garage Ridge Height (New Construction)



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DETACHED GARAGE (1-STORY)	
MEASUREMENT	APPLICATION
16 FT.	Maximum 1-story garage ridge height

DETACHED GARAGE (2-STORY)	
MEASUREMENT	APPLICATION
26 FT.	Maximum 2-story garage ridge height (for garage apartment)

Proposed ridge height: 25' 4"

DRAFT



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DISTRICT MAP



1650 Cortlandt St

Houston Heights East Historic District

Historic District Boundary

Building Classification

- Contributing
- Non-Contributing
- Park

Established: February 20, 2008
Source: GIS Services Division
Date: May 1, 2013
Reference: p17025_Heights_East

This map is made available for reference purposes only and should not be substituted for a survey product. The City of Houston will not accept liability of any kind in conjunction with its use.



PLANNING &
DEVELOPMENT
DEPARTMENT



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INVENTORY PHOTO



CURRENT PHOTO





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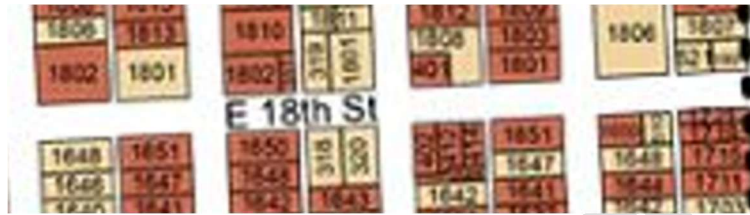
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CONTEXT AREA



402 E 18th St, Contributing, 1 STY



401 E 18th St, Contributing, 1 STY



412 E 18th St, Contributing, 1 STY



414 E 18th St, Contributing, 1STY





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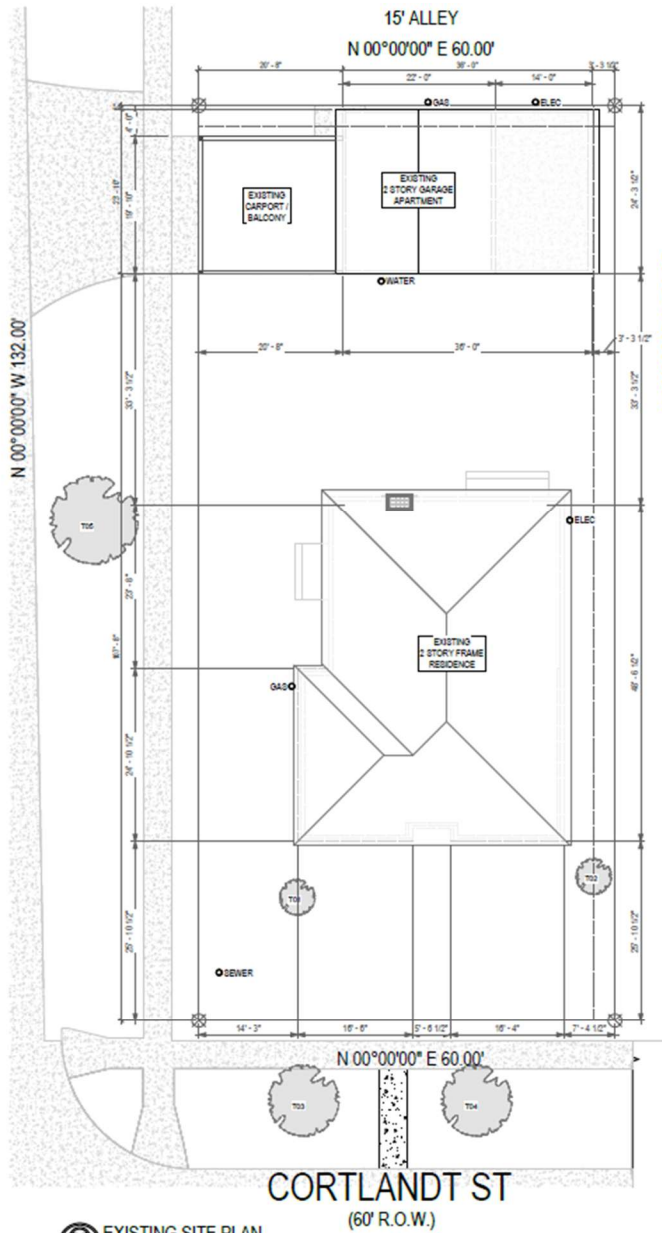
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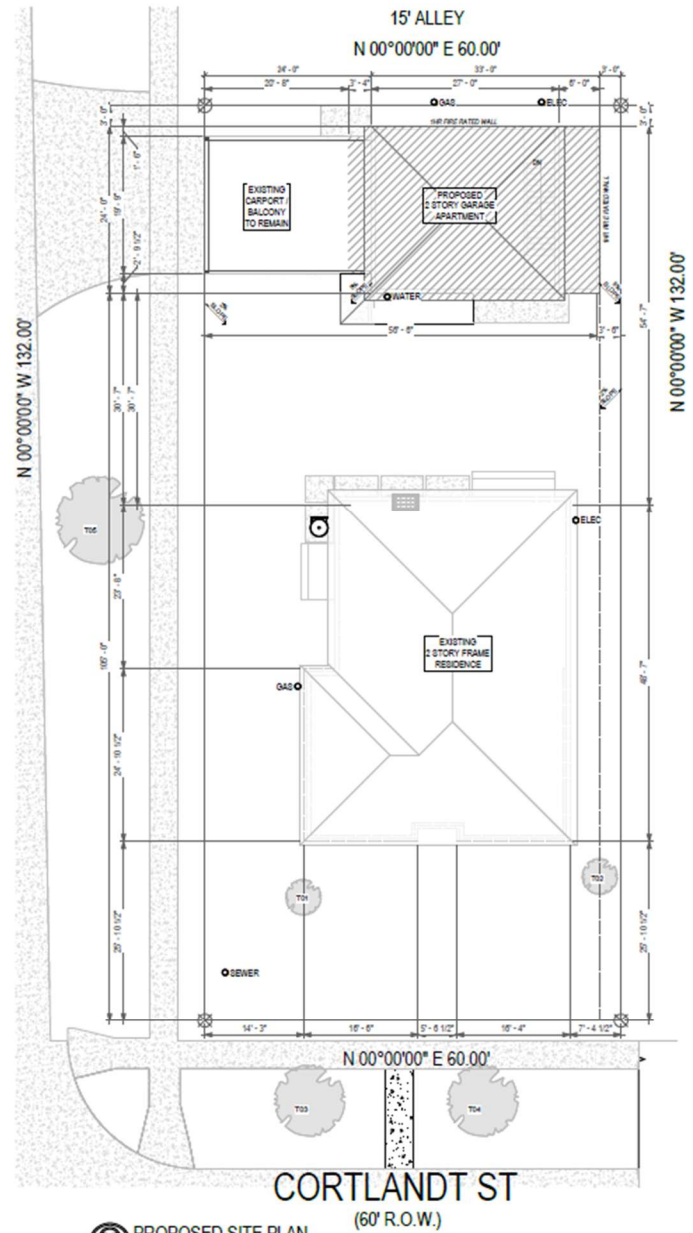
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SITE PLAN



EXISTING



PROPOSED



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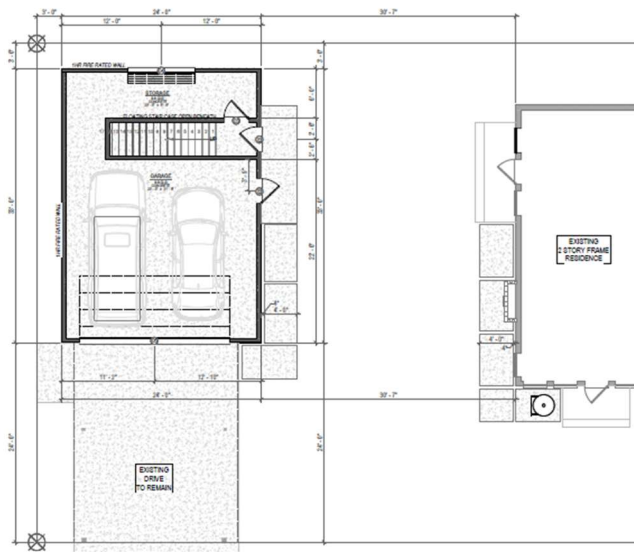
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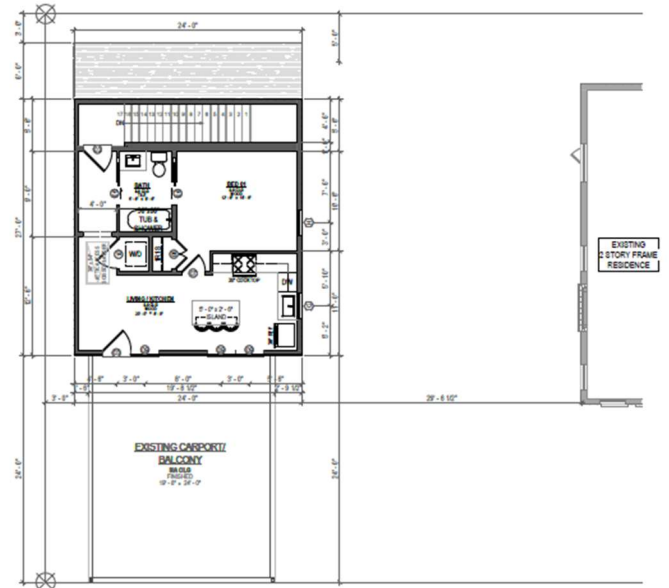
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FLOOR PLAN



LEVEL 01 - PROPOSED GARAGE PLAN
Scale: 3/16" = 1'-0"



LEVEL 02 - PROPOSED APARTMENT PLAN
Scale: 3/16" = 1'-0"

FIRST FLOOR

SECOND FLOOR



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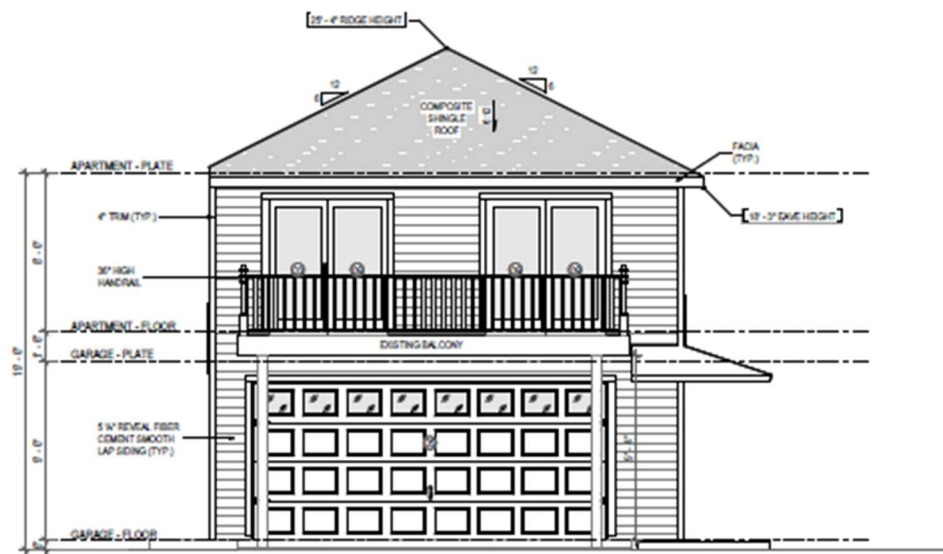
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NORTH ELEVATIO



PROPOSED NORTH ELEVATION

Scale: 1/4" = 1'-0"



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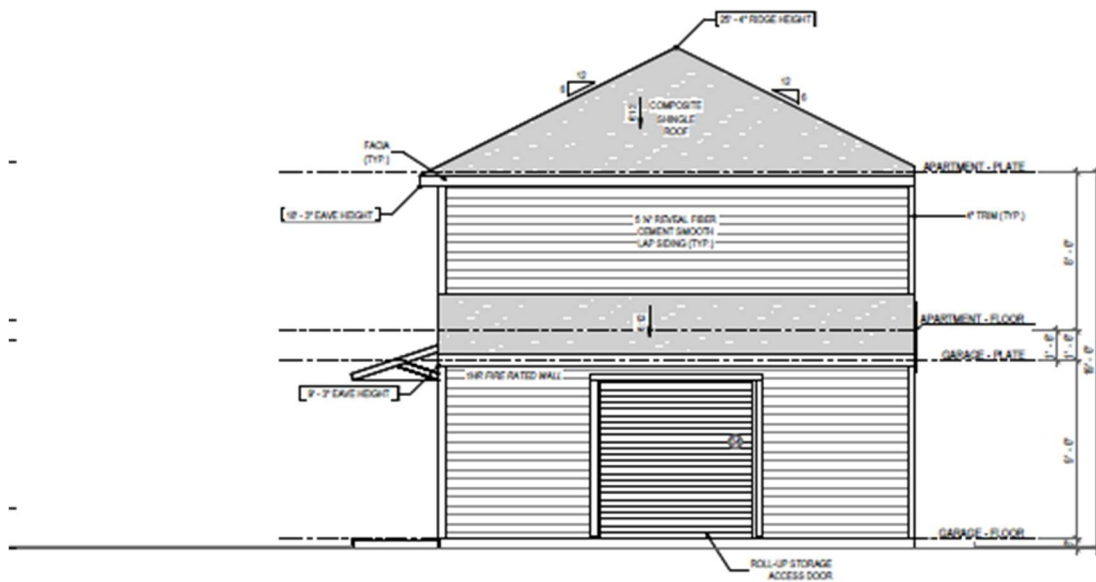
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SOUTH ELEVATION



PROPOSED SOUTH ELEVATION

1/4" = 1'-0"



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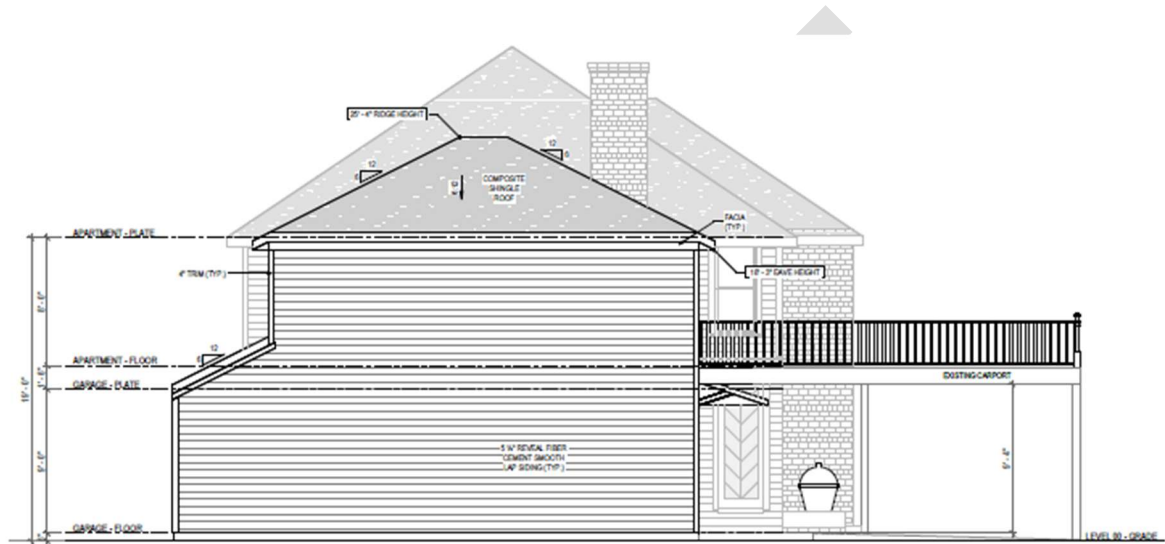
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EAST ELEVATIONS



PROPOSED EAST ELEVATION GARAGE

Scale: 1/4" = 1'-0"



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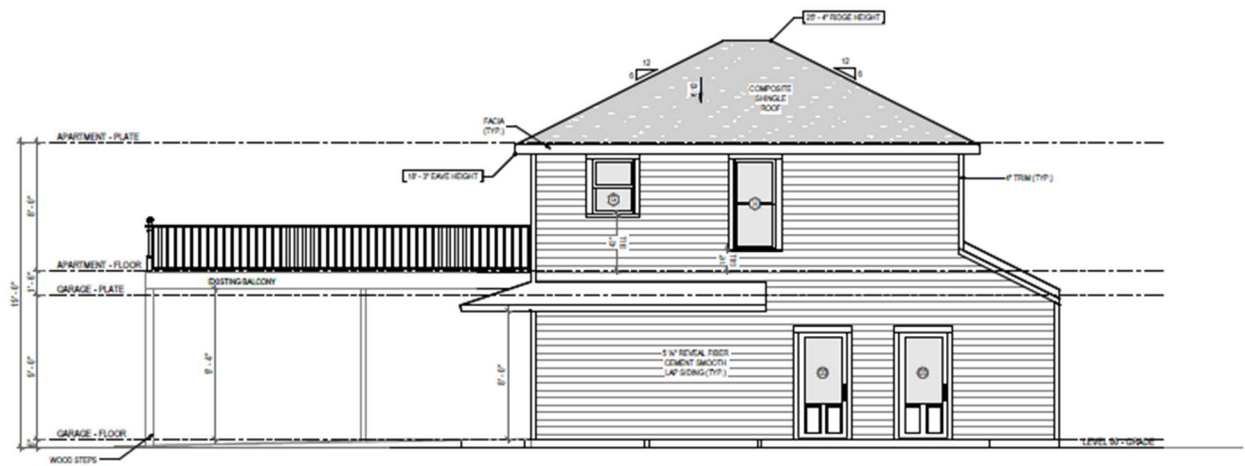
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WEST ELEVATION



PROPOSED WEST ELEVATION
Scale: 1/4" = 1'-0"

