



CERTIFICATE OF APPROPRIATENESS

Reviewed by the Houston Archaeological and Historical Commission

ITEM A11

HPO File #: HP2026_0XXX

September 10, 2026

316 E 18th Street
Houston Heights East

Applicant: Sam Gianukos, agent for Cassie Hartline, owner

Property: 316 E 18th Street, LT 26, BLK 115. The property is a **PROPERTY SQUARE FOOTAGE** square foot two-story wood single-family residence situated on a 7,920 square foot (60' x 132') corner lot.

Significance: Contributing (PC) garage apartment constructed circa 1937 (per inventory) 1948 (per HCAD), located in the Houston Heights East Historic District.

Proposal: Demolition – Garage/Garage apartment

The applicant proposes to...

- Demolish existing 2 story garage/garage apartment

Public Comment: No public comment received.

Civic Association: No civic association comment received.

Recommendation: Approval

HAHC Action: -



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APPROVAL CRITERIA

DEMOLITION OF A LANDMARK, PROTECTED LANDMARK, CONTRIBUTING STRUCTURE, OR WITHIN AN ARCHAEOLOGICAL SITE

Sec. 33-247(a): The issuance of a certificate of appropriateness for the demolition of a landmark, a protected landmark, or a contributing structure, or for the demolition of a building, structure or object on or in an archaeological site shall be granted only if:

S D NA

S - satisfies D - does not satisfy NA - not applicable

- ☐ ☐ ☒ (1) The building, structure, or object has seriously deteriorated to an unusable state and is beyond reasonable repair; and
- ☐ ☐ ☒ (2) The HAHC finds, based on the preponderance of credible evidence presented subject to the establishment by the applicant, the existence of an unreasonable economic hardship under subsection (c) of this section or the establishment of an unusual and compelling circumstance pursuant to subsection (d) of this section.

(c) Determination of the existence of an **unreasonable economic hardship** shall be based upon the following criteria:

- ☐ ☐ ☐ (1) That the property is incapable of earning a reasonable return, regardless of whether the return is the most profitable return, including without limitation, regardless of whether the costs of maintenance or improvement of the property exceed its fair market value;
Staff criteria comments 10pt. italic, red. Delete bottom sections if DGs don't apply.
- ☐ ☐ ☐ (2) That the owner has demonstrated that the property cannot be adapted for any other use, whether by the current owner, by a purchaser or by a lessee, that would result in a reasonable return;
- ☐ ☐ ☐ (3) That the owner has demonstrated reasonable efforts to find a purchaser or lessee interested in acquiring the property and preserving it, and that those efforts have failed; and
- ☐ ☐ ☐ (4) If the applicant is a nonprofit organization, determination of an unreasonable economic hardship shall instead be based upon whether the denial of a certificate of appropriateness financially prevents or seriously interferes with carrying out the mission, purpose, or function of the nonprofit corporation

OR

(d) Determination of the existence of an **unusual and compelling circumstance** shall be based upon the following criteria:

- ☒ ☐ ☐ (1) That current information does not support the historic or archaeological significance of this building, structure or object or its importance to the integrity of an historic district, if applicable;
- ☐ ☐ ☐ (2) Whether there are definite plans for reuse of the property if the proposed demolition is carried out and what effect such plans have on the architectural, cultural, historical or archaeological character of the context area; and
- ☐ ☐ ☐ (3) Whether reasonable measures can be taken to save the building, structure or object from further deterioration, collapse, arson, vandalism or neglect.

HEIGHTS DESIGN GUIDELINES

- ☐ ☐ In accordance with Sec. 33-276, the proposed activity must comply with the City Council approved Design Guidelines.



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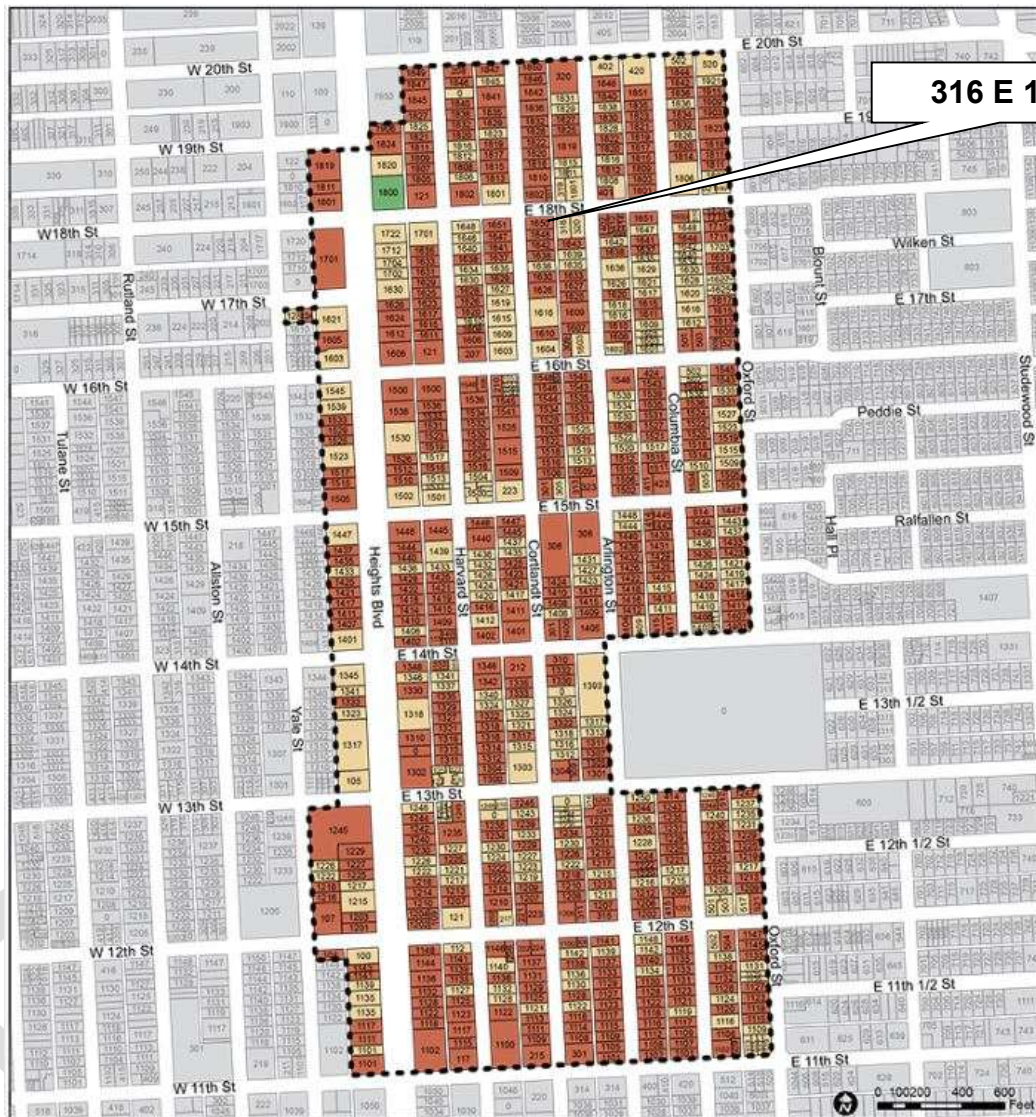
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DISTRICT MAP



Houston Heights East Historic District

Historic District Boundary

Building Classification

- Contributing
- Non-Contributing
- Park

Established: February 20, 2008
Source: GIS Services Division
Date: May 1, 2013
Reference: p17025_Heights_East

This map is made available for reference purposes only and should not be substituted for a survey product. The City of Houston will not accept liability of any kind in conjunction with its use.



PLANNING &
DEVELOPMENT
DEPARTMENT



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INVENTORY PHOTO



CURRENT PHOTO





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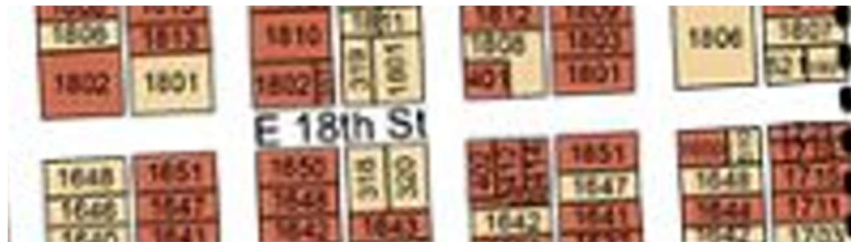
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CONTEXT AREA



401 E 18th St, Contributing, 1 STY



402 E 18th St, Contributing, 1 STY



412 E 18th St, Contributing, 1 STY



414 E 18th St, Contributing, 1 STY





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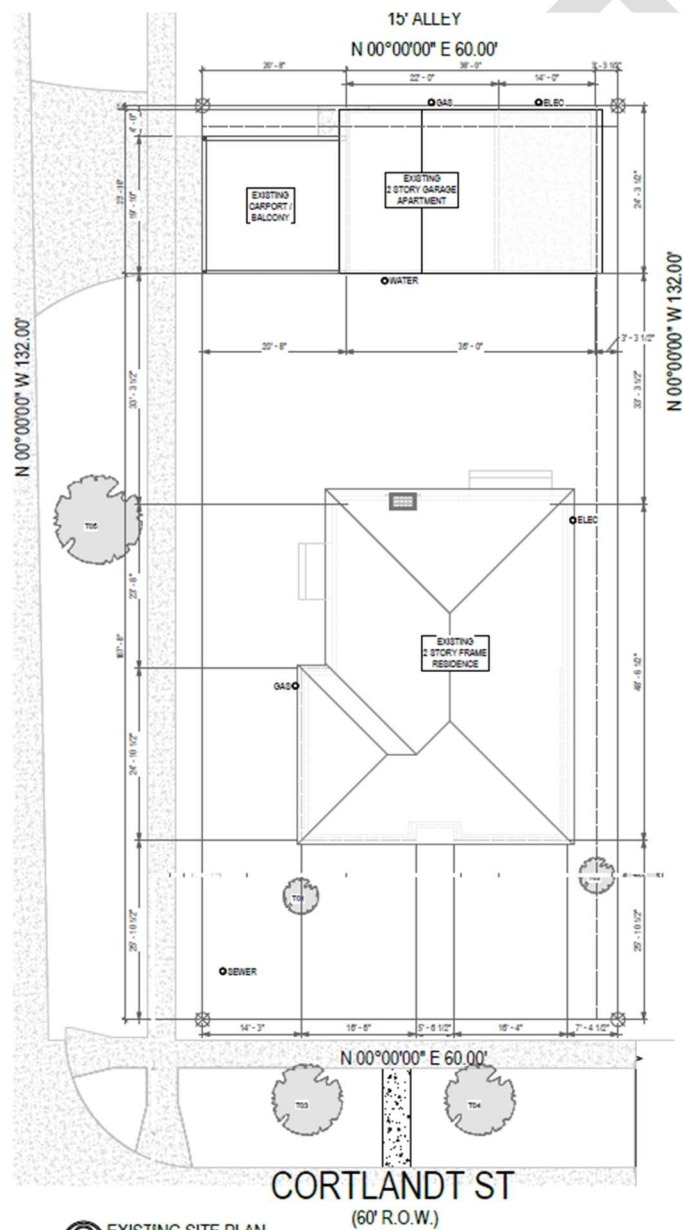
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SITE PLAN





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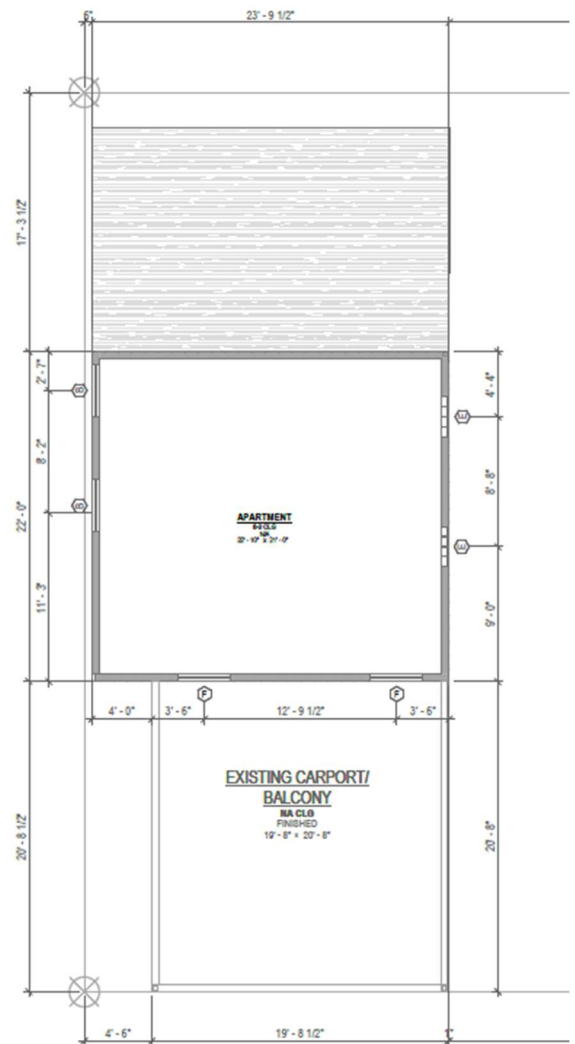
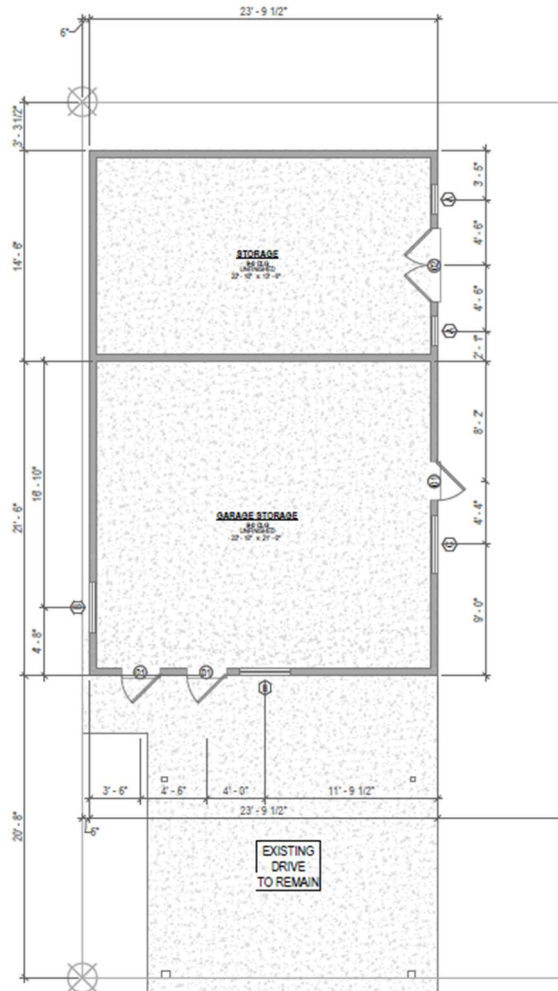
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FLOOR PLAN





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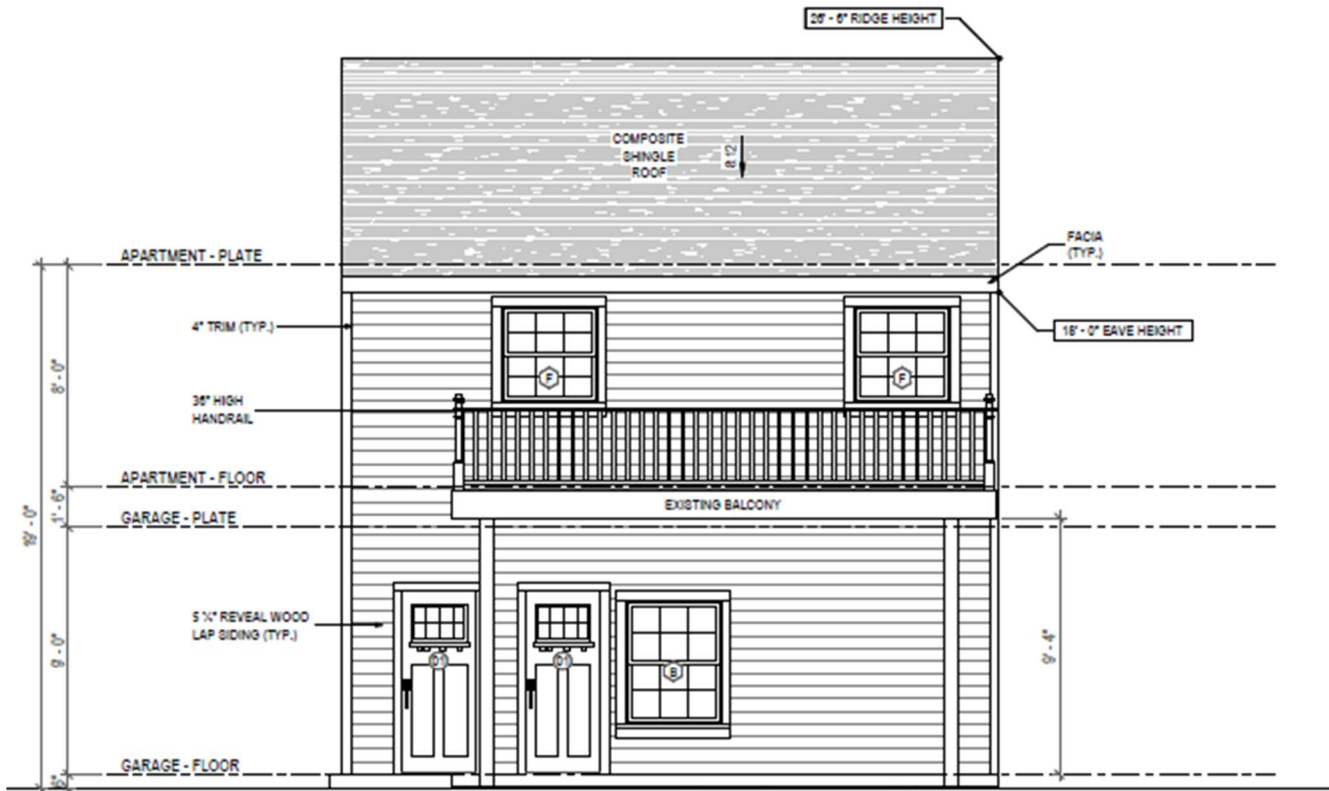
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NORTH ELEVATIONS



EXISTING NORTH ELEVATION

Scale: 1/4" = 1'-0"



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WEST ELEVATION



 EXISTING WEST ELEVATION
Scale: 1/4" = 1'-0"



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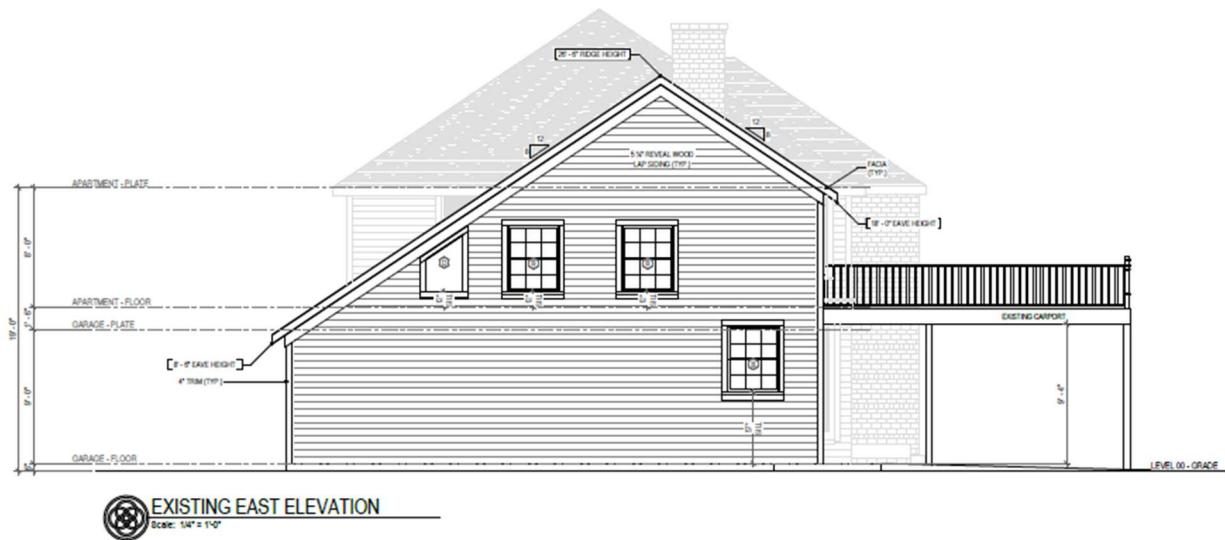
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EAST ELEVATIONS





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REAR (SOUTH) ELEVATION



EXISTING SOUTH ELEVATION

Scale: 1/4" = 1'-0"

