



CERTIFICATE OF APPROPRIATENESS

Reviewed by the Houston Archaeological and Historical Commission

ITEM B14
HPO File #: HP2026_0225

September 10, 2026

941 Oxford St.
Houston Heights South

Applicant: GJ Hartsfield, agent for Mark Munday, owner

Property: 941 Oxford St., Lot 2, Block 226, single-family residential, two-story, 2,936 sq. ft. living area, on a 6,600 sq. ft. (66' x 100') interior lot, Houston Heights Neighborhood Subdivision.

Significance: This is circa 1920, Contributing Craftsman Bungalow Houston Heights South Historic District.

Proposal: Alteration – Door and Windows

The applicant proposing:

East Elevation (Front)

- Remove (2) existing 1/1 single-hung windows 3 ft. x 5 ft. each and replace with (1) 1/1 single-hung wood window 3 ft. 4 in. x 5 ft. 5 in. Surrounding siding and trim shall be replaced.
- Remove (1) existing wood Craftsman-style door and replace with (1) wood Craftsman-style door, within same opening.

North Elevation (Side)

- Remove (1) non-original casement window 2/2, replace with (1) 1/1 single-hung wood window 2 ft. 7 in. x 5 ft. 5 in. Surrounding and trim shall be replaced

South Elevation (Side)

- Remove (1) existing 1/1 single-hung windows and replace with (1) 1/1 single-hung wood window

Public Comment: No Comments

Civic Association: No Comments

Recommendation: Approval

HAHC Action: -

All materials in exterior walls, including windows, siding, framing lumber, and interior shiplap must be retained except where removal or replacement has been explicitly approved by HAHC. Shiplap is an integral structural component of the exterior wall assembly in balloon framed structures and its removal can cause torquing, twisting and collapse of exterior walls. Shiplap may be carefully shored and removed in small portions to insulate, run wire or plumbing, and should be replaced when the work is complete. Maintenance and minor in-kind repairs of exterior materials may be undertaken without HAHC approval, but if extensive damage of any exterior wall element is encountered during construction, contact staff before removing or replacing the materials. A revised COA may be required.

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Basis for Issuance: HAHC Approval
Effective:

COA valid for two years from effective date.
COA is in addition to any other permits or approvals required by municipal, state and federal law. Permit plans must be stamped by Planning & Development Department for COA compliance prior to submitting for building or sign permits. Any revisions to the approved project scope may require a new COA.



ITEM A10
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APPROVAL CRITERIA

ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS

Sec. 33-241: HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark, (ii) protected landmark, (iii) any building, structure or object that is part of an archaeological site, or (iv) contributing building in a historic district upon finding that the application satisfies the following criteria, as applicable:

S	D	NA		S - satisfies	D - does not satisfy	NA - not applicable
☒	☐	☐	(1)	The proposed activity must retain and preserve the historical character of the property;		
☒	☐	☐	(2)	The proposed activity must contribute to the continued availability of the property for a contemporary use;		
☒	☐	☐	(3)	The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance;		
☒	☐	☐	(4)	The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment;		
☒	☐	☐	(5)	The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site;		
☒	☐	☐	(6)	New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale;		
☒	☐	☐	(7)	The proposed replacement of exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures;		
☒	☐	☐	(8)	Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site;		
☒	☐	☐	(9)	The proposed design for any exterior alterations or addition must not destroy significant historical, architectural, archaeological or cultural material, including but not limited to siding, windows, doors and porch elements;		
☒	☐	☐	(10)	The proposed alteration or addition must be compatible with the massing, size, scale material and character of the property and the context area; and		
☒	☐	☐	(11)	The distance from the property line to the front and side walls, porches, and exterior features of any proposed addition or alteration must be compatible with the distance to the property line of similar elements of existing contributing structures in the context area.		

HEIGHTS DESIGN GUIDELINES

☒	☐	☐	In accordance with Sec. 33-276, the proposed activity must comply with the City Council approved Design Guidelines.
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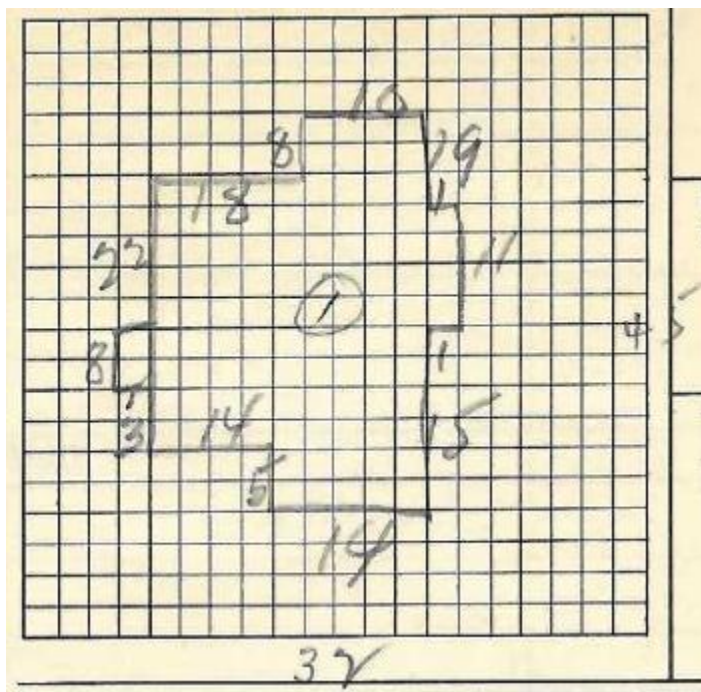
941 Oxford St.
Houston Heights South

HISTORIC DOCUMENTS

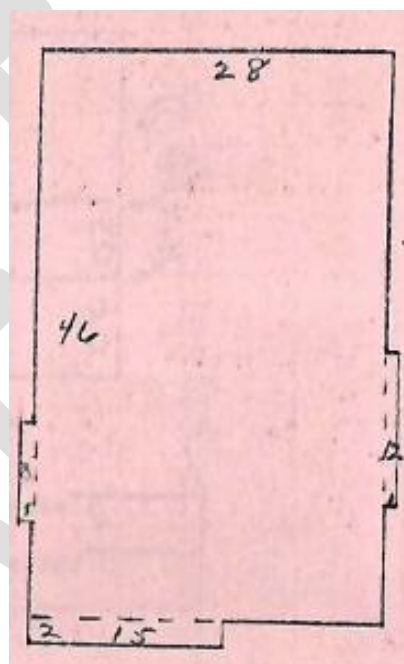
BUREAU OF LAND ASSESSMENT



(DATE UNKNOWN)



(Jan. 31, 1968)



(Google Maps 2026)m





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INVENTORY PHOTO – EAST ELEVATION (Circa 2010)



CURRENT PHOTO





CONTEXT AREA

CONTEXT AREA

931

No Solicitors

931 Arlington St "A"

CONTEXT AREA

1035 Oxford st "B"



CONTEXT AREA

1013 Oxford St

"C"



CONTEXT AREA

1037 Oxford St "D"



CONTEXT AREA

1005 Oxford St "E"

CONTEXT AREA

922 Arlington St "F"

922



CONTEXT AREA

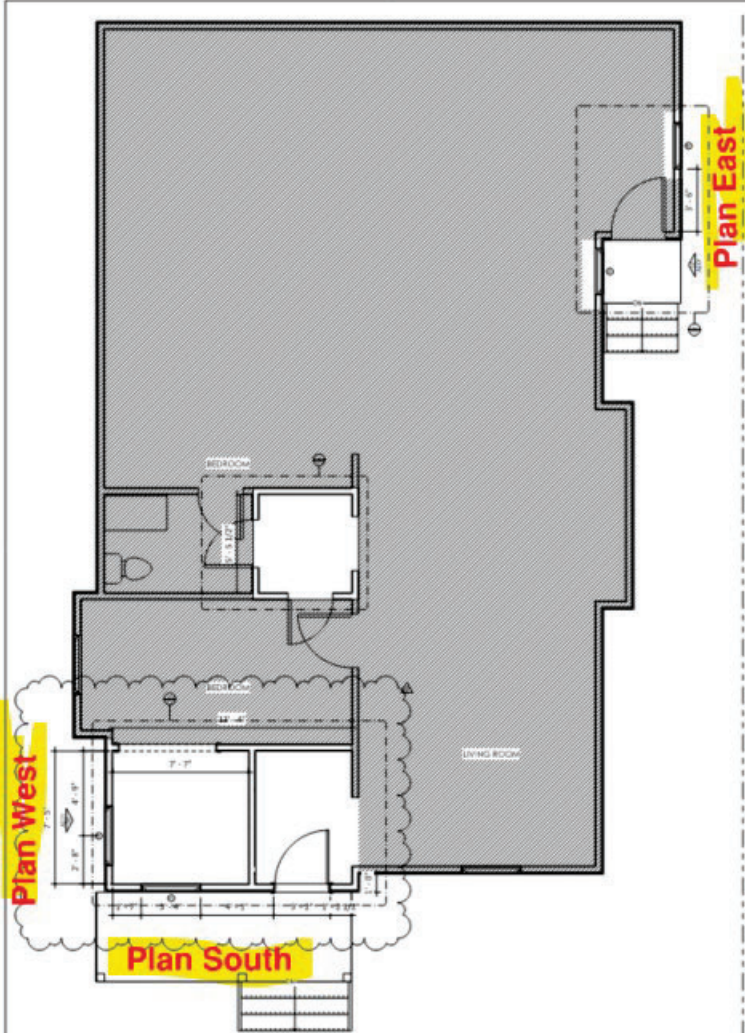
1009 Oxford st "G"



CONTEXT AREA

1039 Oxford St "H"



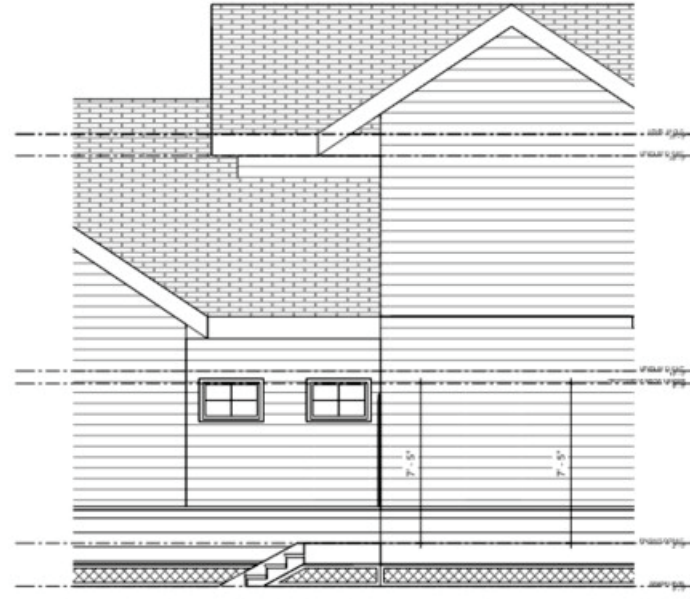


01 FLOOR PLAN - DEMOLITION
SCALE: 1/4" = 1'-0"



Plan East

01 EXTERIOR ELEVATION - PROPOSED NORTH
SCALE: 3/8" = 1'-0"



02 EXTERIOR ELEVATION - EXISTING NORTH
SCALE: 3/8" = 1'-0"

CONSISTENT

SEAL:

OXFORD
RENOVATION
541 OXFORD ST.
HOUSTON, TX 77028

EXTERIOR
ELEVATIONS

Project Number: 260512
Date: 06/02/2024
Drawn by: G.J. / J.M.

A2.02

Scale: As indicated

7/21/2024 1:41:48 PM

STRUCTURE SHALL BE ELEVATED NOT LESS THAN 4 INCHES ABOVE THE CROWN OF THE STREET.



01 EXTERIOR ELEVATION - PROPOSED EAST
SCALE: 3/8" = 1'-0"

WINDOW FLASHING DETAILS 2 OF 2
SCALE: 1/2" = 1'-0"

Scale:	As indicated
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A2.00



Plan West

01 EXTERIOR ELEVATION - PROPOSED SOUTH
SCALE: 3/8" = 1'-0"



02 EXTERIOR ELEVATION - EXISTING SOUTH
SCALE: 3/8" = 1'-0"

CONSISTANTS

SEAL

OXFORD
RENOVATION
541 OXFORD ST.
HOUSTON, TX 77058

EXTERIOR
ELEVATIONS

Project Number 280512

Date 06/02/2026

Drawn By G.J. / JM

A2.01

Scale As indicated

OXFORD RENOVATION

EXISTING DOOR

94



PROPOSED DOOR



CERTIFICATE OF APPROPRIATENESS WINDOW WORKSHEET



PLANNING &
DEVELOPMENT
DEPARTMENT

EXISTING WINDOW SCHEDULE							
Window	Material	Lite Pattern	Style	Dimensions	Recessed/Inset	Original/Replacement	Existing to Remain
Ex. A1	Wood	1/1	DH	32 x 66	Recessed	Original	No
E1	VINYL	2/2	SH	72 X 60	INSET		NO
E2	VINYL	2/2	SH	72 X 60	INSET		NO
E3	VINYL	2/1	SH	36 X 24	INSET		NO
DOOR	WOOD			36 X 80			NO

DAMAGE TO EXISTING WINDOWS	
Window	Describe Damage
Ex. A1	Glass is broke, window is inoperable, rail is rotten, and frame is broken

PROPOSED WINDOW SCHEDULE							
Window	Material	Lite Pattern	Style	Dimensions	Recessed/Inset	Brand/Vendor	Other
Ex. A1	Wood	1/1	DH	32 x 66	Recessed	Plygem	
A1	WOOD	1/2	SH	40 X 65	INSET	ANDERSEN	
A2	WOOD	1/2	SH	40 X 65	INSET	ANDERSEN	
B1	WOOD	1/2	SH	31 X 65	INSET	ANDERSEN	
B2	WOOD	1/2	SH	31 X 65	INSET	ANDERSEN	
DOOR	WOOD			36 X 80		ANDERSEN	

- Must include photos of all windows with labels indicated on this sheet
- Must include manufacture's specifications and details for all proposed windows
- *** Use additional sheets as necessary

Windows
Door



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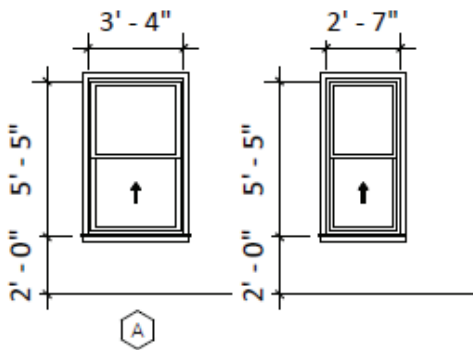
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PROPOSED WINDOW SCHEDULE

WINDOW SCHEDULE						
Type Mark	Width	Height	Stud Thickness	Material	Color	Description
A	3' - 4"	5' - 5"	0' - 3 1/2"	WOOD	WHITE	SINGLE HUNG
B	2' - 7"	5' - 5"	0' - 3 1/2"	WOOD	WHITE	SINGLE HUNG



WINDOW LEGEND

SCALE: 3/16" = 1'-0"



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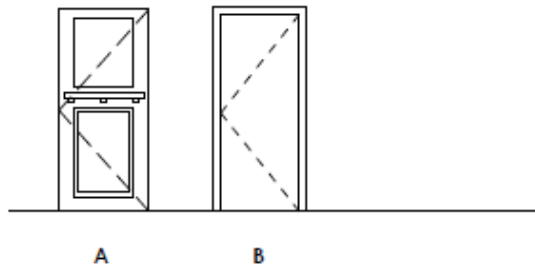
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PROPOSED DOOR SCHEDULE

DOOR SCHEDULE								
Mark	Height	Width	Door Elevation	Stud Thickness	Frame Material	Finish	Hardware	Comments
01	6' - 8"	3' - 0"	A	0' - 3 1/2"	WOOD	STAINED	HW01	SINGLE, EXT. SOLID WD.
02	6' - 8"	2' - 8"	B	0' - 3 1/2"	WOOD	PAINTED	HW02	SINGLE, HOLLOW CORE



DOOR LEGEND

SCALE: 3/16" = 1'-0"

HW SET 01:

3 HINGES
1 LOCK SET, DEADBOLT
1 DOOR STOP
1 THRESHOLD

BLACK
BLACK, HANDLE
WHITE
SILVER

HW SET 02:

3 HINGES
1 PASSAGE SET
1 DOOR STOP

BLACK
BLACK, HANDLE
WHITE

07/10/2026

Calyx Design Studio
1201 Fannin St. Suite 262
Houston, Texas 77002
(713) 550-4818

Supporting Examples for Proposed Work

Attention:

City of Houston Planning & Development,
Historic Commission and Appeals Board

Project Number:

Project Address: **941 Oxford St. Houston, TX 77008**

After documenting properties within the historic district “Heights South”, within which our proposed project is located, we believe the following examples support our proposal as keeping with the architectural language of the historic district. Please see also our attached product specs for the proposed project.

Door(s):

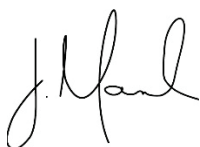
The doors at 931 Arlington, 1037, and 1005 Oxford sit at the same heights as their respective windows, as is our intention with the proposed project. Note also that the doors on 1013, and 1039 Oxford, 922 Arlington, represent the type of door we’re proposing for our project.

Windows:

The transom windows at 931 Oxford are similar to our intentions for the proposed project.

If there are any follow up questions, please feel free to reach us at: **(713) 550-4818**.

Respectfully,

A handwritten signature in black ink, appearing to read "J. Mandujano".

J.Manuel Mandujano,
Calyx Design Studio, Principal.



When you choose Andersen, you not only get the quality, style and performance that we've built our reputation on, but also exceptional service and support. Our exclusive Owner-2-Owner® limited warranties offer homeowners peace of mind, plus real added value.

200 SERIES PRODUCTS

THE WARMTH OF WOOD AT AN UNCOMMON VALUE

This streamlined selection of windows and patio doors delivers Andersen quality at an uncommon value while still offering ample choices. The 200 Series product line concentrates on our most popular sizes and options for a value that's unmatched.



PRODUCT OVERVIEW



TILT-WASH DOUBLE-HUNG WINDOWS

200 Series tilt-wash double-hung windows are available in our most popular sizes and feature low-maintenance exteriors and real wood interiors. Their tilt-wash design makes them easy to clean from inside the home.

Half circle windows are available in sizes to match our tilt-wash double-hung windows.



GLIDING WINDOWS

200 Series gliding windows feature low-maintenance exteriors and real wood interiors. They have a single sash that glides horizontally to allow for full top to bottom ventilation and are an excellent choice for rooms that face walkways, porches or decks because the sash do not open outward.

To learn more about other Andersen® window options, visit andersenwindows.com/windows.



NARROLINE® & PERMA-SHIELD® GLIDING PATIO DOORS

200 Series Narroline gliding doors combine the beauty of natural wood with sleek contemporary profiles to maximize views. Available in two- and four-panel configurations to fit virtually any size requirement.

200 Series Perma-Shield gliding doors are protected inside and out with rigid vinyl cladding to give homes a contemporary look while keeping maintenance to a minimum. They are available with convenient blinds-between-the-glass on select sizes and are available in two-panel configurations.



CUSTOM SIZES

HINGED INSWING PATIO DOORS

200 Series hinged inswing patio doors are built with fiberglass panel construction, traditional styling and white interiors and are available in three exterior colors.

Their hook deadbolt lock provides extra strength, a more weathertight seal and added security compared to ordinary deadbolt locks. They are available in one- and two-panel configurations.



EXTERIOR TRIM SYSTEM

Add curb appeal with Andersen® exterior trim. Our trim is made with Fibrex® composite material, an environmentally smart composite that contains 40% pre-consumer reclaimed wood fiber by weight. For details, see page 45.

Time-saving and cost-effective



Innovative attachment strip

No nail holes, no visible fasteners, no painting



Independent of water management system for easy installation

Style that gets noticed

Our wide trim profiles overlap the window frame to create clean lines without visible sealant joints. Mitered brick mould corners and butt joints on flat casing profiles reflect traditional corner joints.

Sandtone window with cocoa bean trim

Visit andersenwindows.com/exteriortrim to learn more.

TRIM COLORS

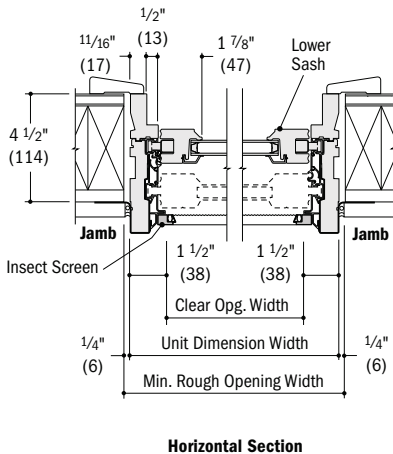
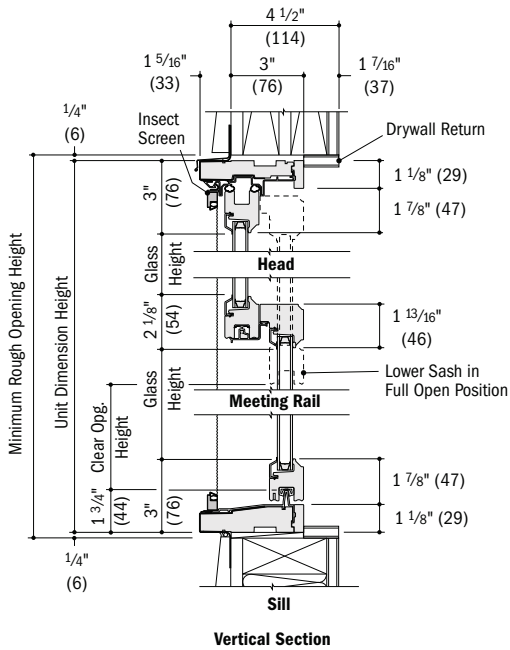


Printing limitations prevent exact color duplication. See your Andersen supplier for actual color samples.

TILT-WASH DOUBLE-HUNG WINDOWS

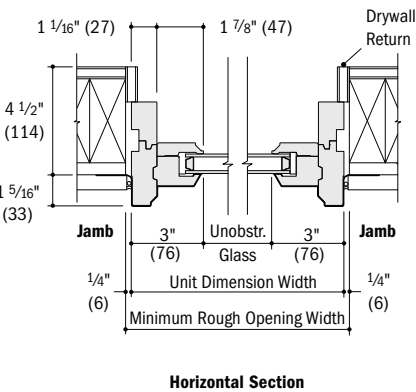
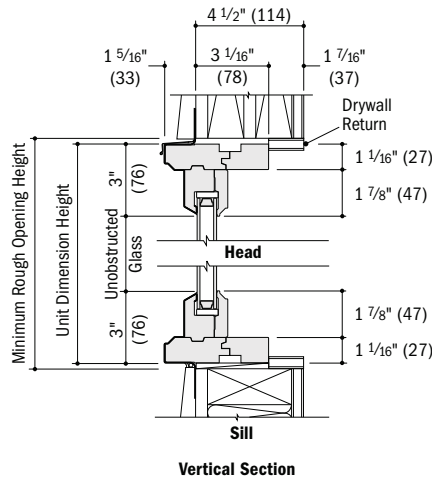
Tilt-Wash Double-Hung Window Details

Scale 1 1/2" (38) = 1'-0" (305) – 1:8



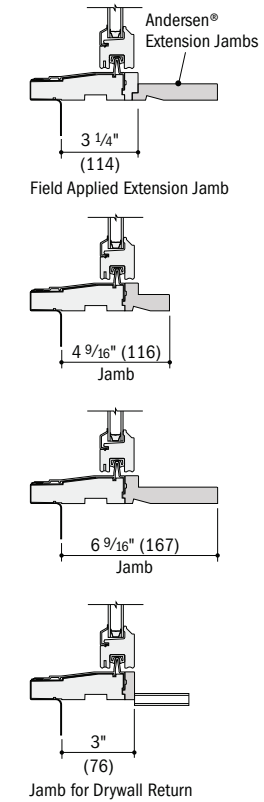
Tilt-Wash Picture/Transom Window Details

Scale 1 1/2" (38) = 1'-0" (305) – 1:8



Extension Jamb Details

Scale 1 1/2" (38) = 1'-0" (305) – 1:8



Vertical (ribbon) Joining Detail

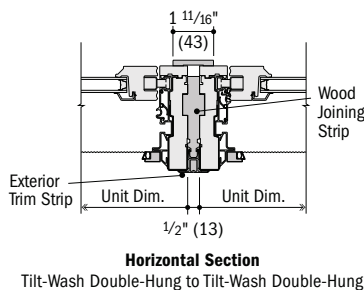
Scale 1 1/2" (38) = 1'-0" (305) – 1:8

Overall Window Dimension Width

Sum of individual window widths plus 1/2" (13) for each join.

Overall Rough Opening Width

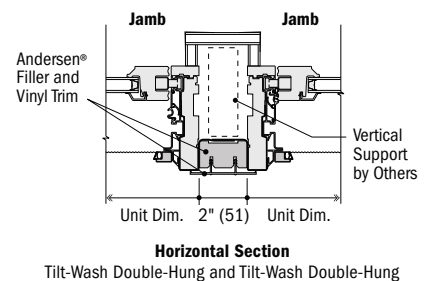
Overall window dimension width plus 1/2" (13).



Separate Rough Openings Detail

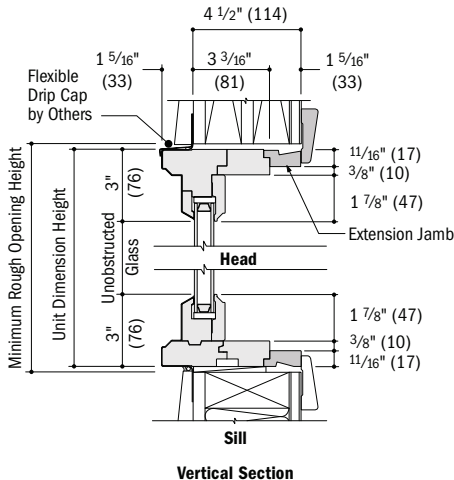
Scale 1 1/2" (38) = 1'-0" (305) – 1:8

To meet structural requirements or to achieve a wider joined appearance, windows may be installed into separate rough openings having vertical support (by others) in combination with Andersen® exterior filler and exterior vinyl trim.



Tilt-Wash Half Circle Window Detail

Scale 1 1/2" (38) = 1'-0" (305) – 1:8

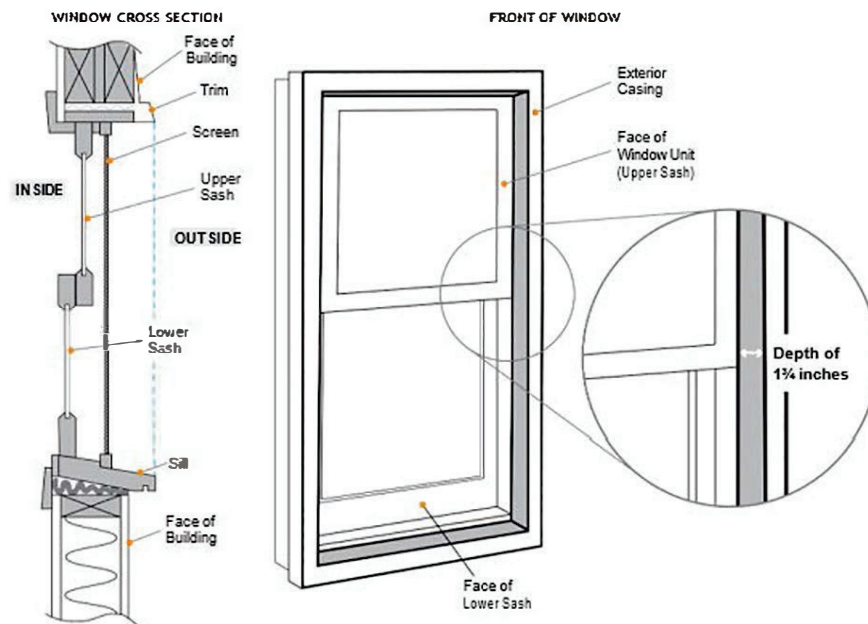


For more joining information, see the combination designs section starting on page 51.

- Light-colored areas are parts included with window. Dark-colored areas are additional Andersen® parts required to complete window assembly as shown.
- Rough openings may need to be increased to allow for use of building wraps, flashing, sill panning, brackets, fasteners or other items. See installation information on pages 62-63.
- Details are for illustration only and are not intended to represent product installation methods or materials. Refer to product installation guides at andersenwindows.com.
- Consult with an architect or structural engineer regarding minimum requirements for structural support members between adjacent rough openings.
- Dimensions in parentheses are in millimeters.



Historic Window Standard: New Construction & Replacement



Minimum 1 3/4 inch Inset

- Depth from Exterior Casing to the Face of the Window Unit (Upper Sash)
- Windows must be 1-over-1 (equally horizontally divided)
- 1 3/4 inch minimum inset for Fixed Window

For more information contact: Houston Office of Preservation

☎ 832-393-6556

✉ historicpreservation@houstontx.gov