



# CERTIFICATE OF APPROPRIATENESS

Reviewed by the Houston Archaeological and Historical Commission

ITEM A08  
HPO File #: HP2026\_0246

September 10, 2026

1102 Winston St  
Norhill

**Applicant:** Andren Simon, owner

**Property:** 1102 Winston St, Lot 1, Block 104. The property is a 1,664 square foot one-story, wood, single-family residence situated on a 5,000 square foot (50'x100') corner lot.

**Significance:** Contributing Bungalow property constructed circa 1925, located in the Norhill Historic District.

**Proposal:** Alteration – Raise foundation

The applicant proposes to:

- Raise the foundation 16", bringing the finished floor height to 3'-0"
- Retain the existing porch and add steps to accommodate elevating the foundation
- Add lattice to cover the crawl space.

**Public Comment:** No public comment received.

**Civic Association:** No civic association comment received.

**Recommendation:** Approval

**HAHC Action:** -



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## APPROVAL CRITERIA

### ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS

Sec. 33-241: HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark, (ii) protected landmark, (iii) any building, structure or object that is part of an archaeological site, or (iv) contributing building in a historic district upon finding that the application satisfies the following criteria, as applicable:

| S                                   | D                        | NA                       |      | S - satisfies                                                                                                                                                                                                                                                                                                                             | D - does not satisfy | NA - not applicable |
|-------------------------------------|--------------------------|--------------------------|------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------|---------------------|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (1)  | The proposed activity must retain and preserve the historical character of the property;                                                                                                                                                                                                                                                  |                      |                     |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (2)  | The proposed activity must contribute to the continued availability of the property for a contemporary use;                                                                                                                                                                                                                               |                      |                     |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (3)  | The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance;                                                                                                                                                       |                      |                     |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (4)  | The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment;                                                                                                                                                                                             |                      |                     |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (5)  | The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site;                                                                                                                                                  |                      |                     |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (6)  | New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale;                                                                                             |                      |                     |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (7)  | The proposed replacement of exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures; |                      |                     |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (8)  | Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site;                                                                                                                                            |                      |                     |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (9)  | The proposed design for any exterior alterations or addition must not destroy significant historical, architectural, archaeological or cultural material, including but not limited to siding, windows, doors and porch elements;                                                                                                         |                      |                     |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (10) | The proposed alteration or addition must be compatible with the massing, size, scale material and character of the property and the context area; and                                                                                                                                                                                     |                      |                     |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (11) | The distance from the property line to the front and side walls, porches, and exterior features of any proposed addition or alteration must be compatible with the distance to the property line of similar elements of existing contributing structures in the context area.                                                             |                      |                     |



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## DISTRICT MAP



### Building Classification

- Contributing
- Non-Contributing
- Park



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## INVENTORY PHOTO



## CURRENT PHOTO





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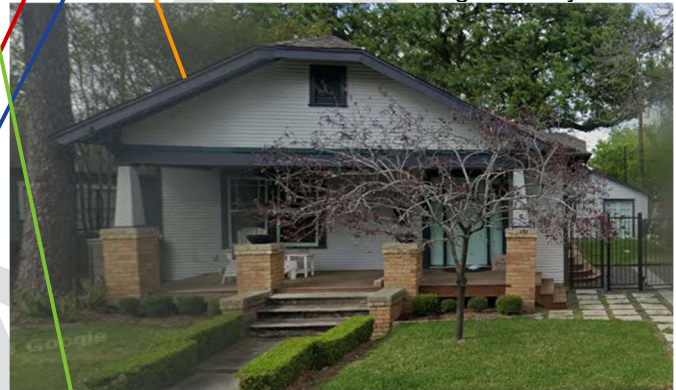
## CONTEXT AREA



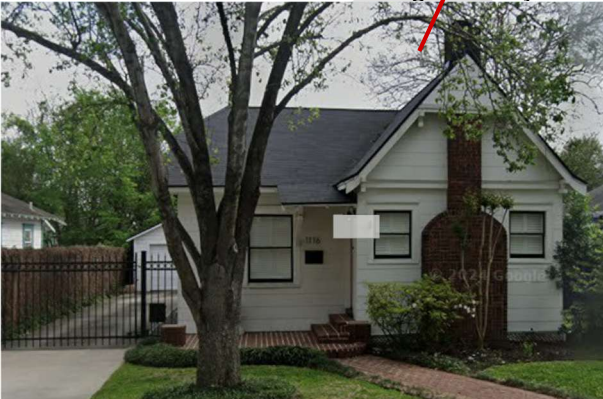
1101 Winston St – Contributing – 1 story



1115 Winston St – Contributing – 1 story



1116 Winston St – Contributing – 1 story



1131 Winston St – Contributing – 1 story





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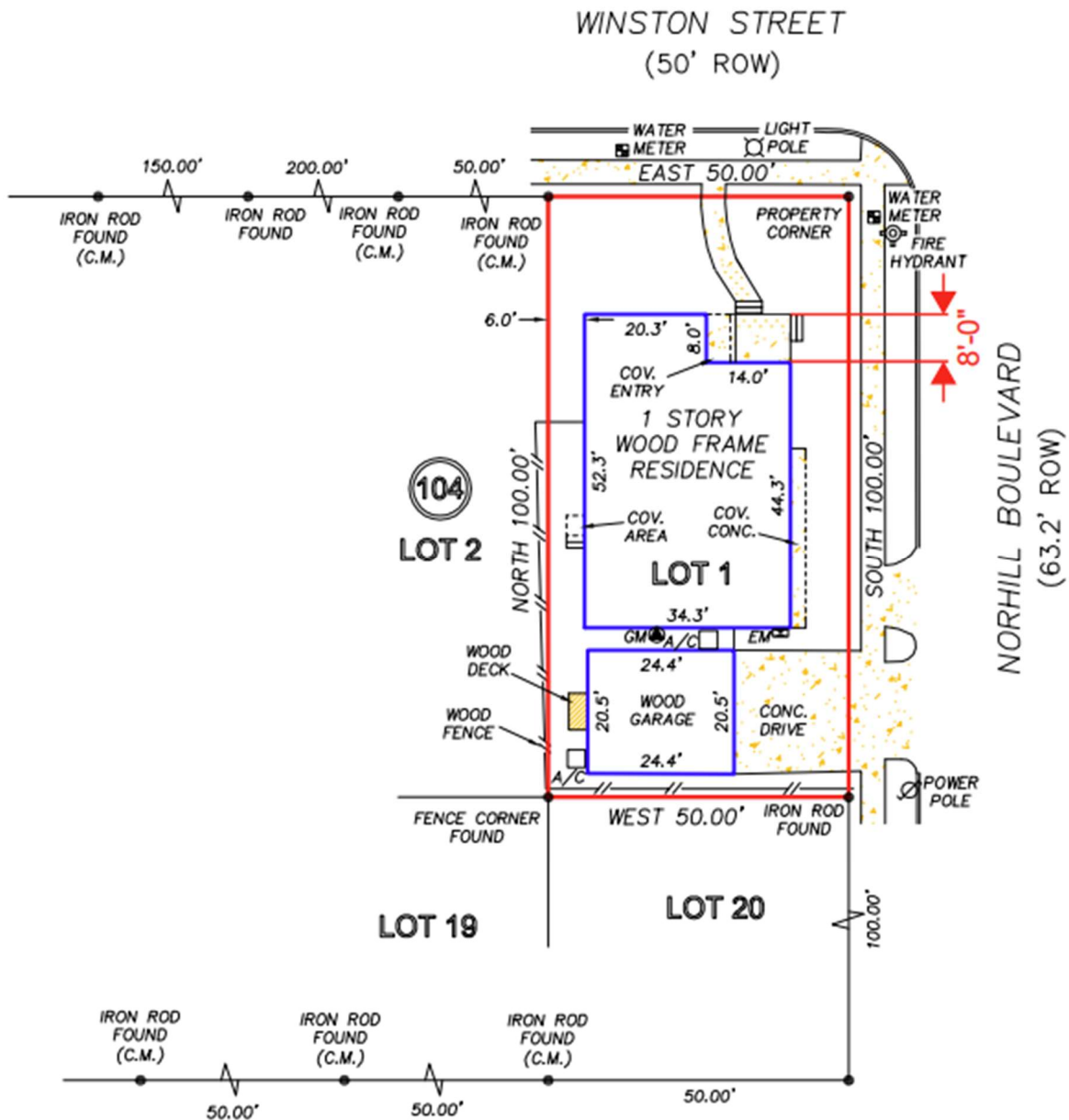
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## SITE PLAN





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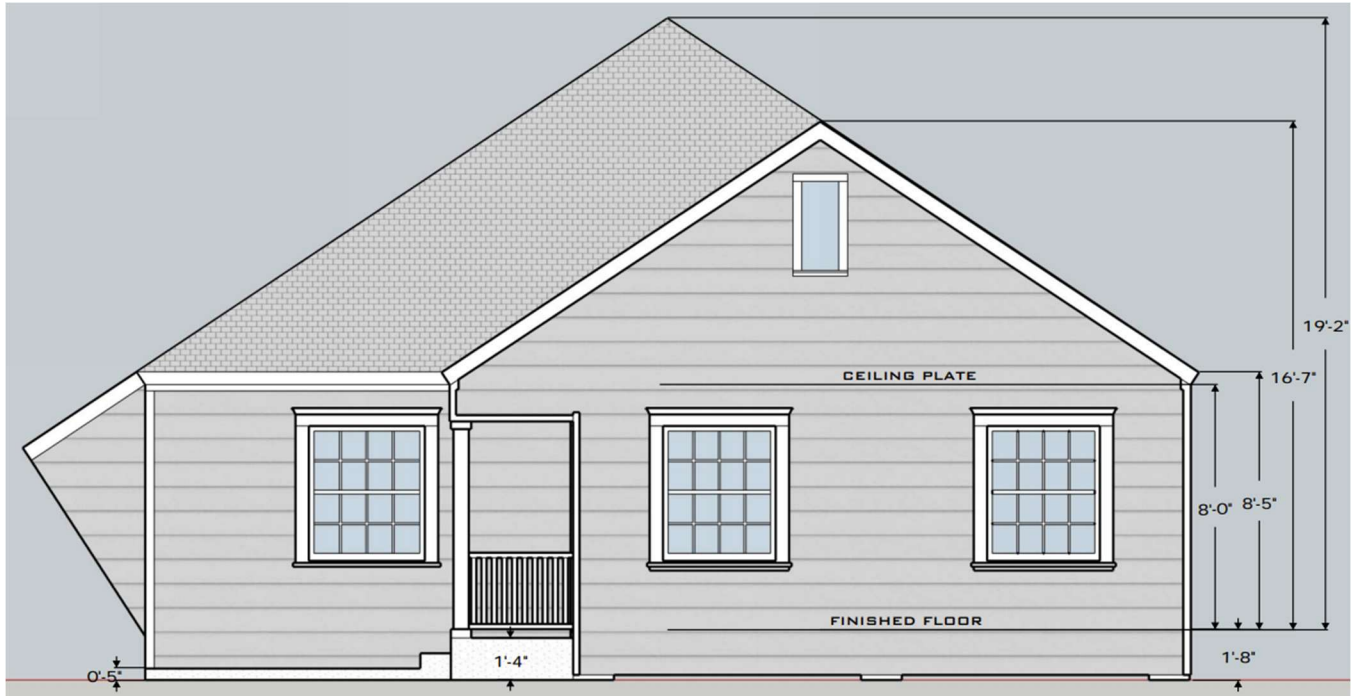
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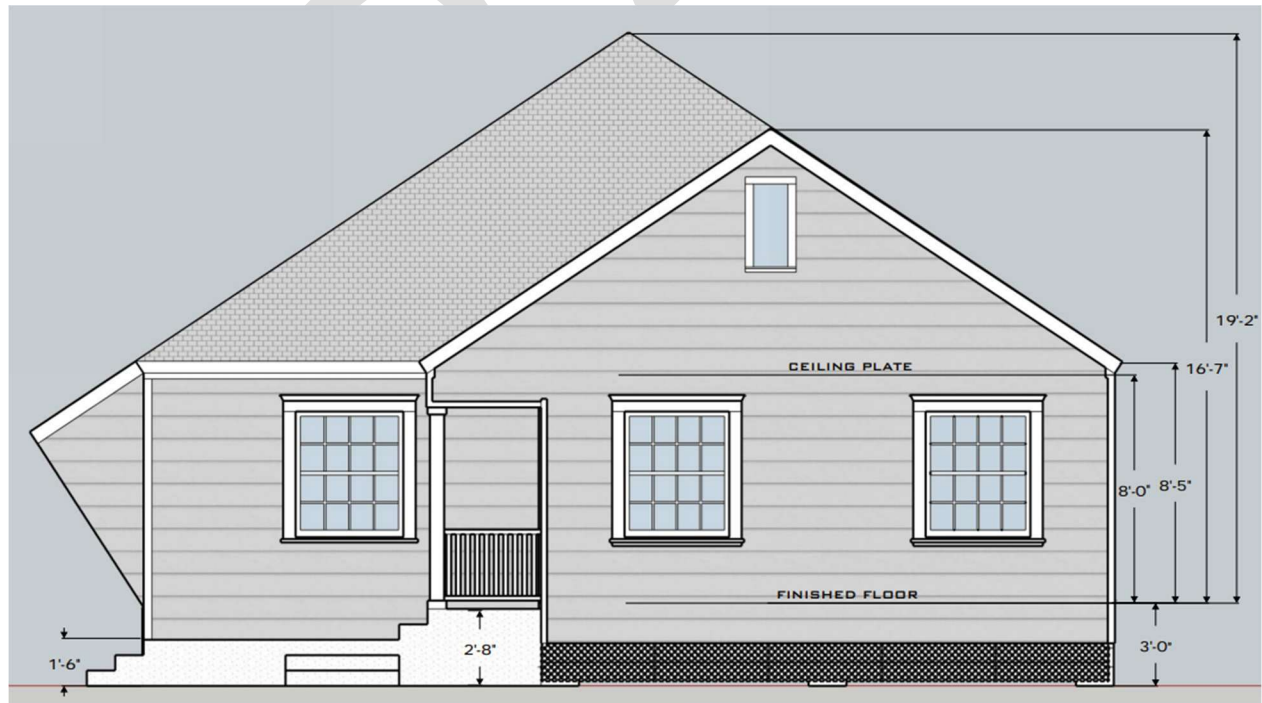
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## FRONT (NORTH) ELEVATIONS EXISTING



## PROPOSED





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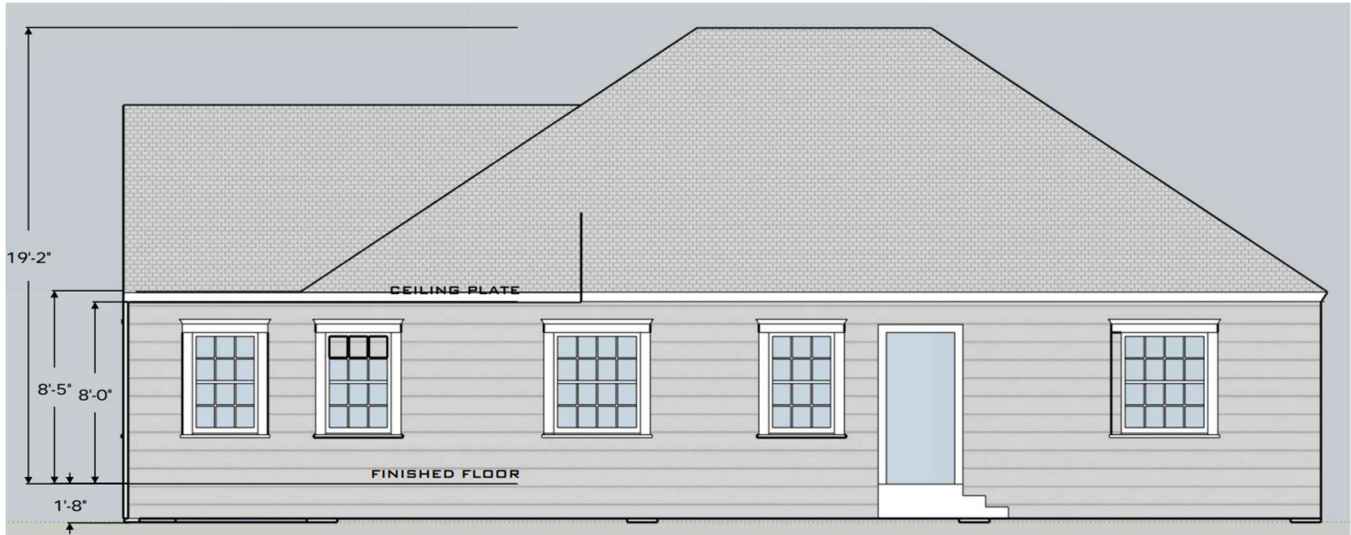
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## RIGHT (WEST) ELEVATION EXISTING



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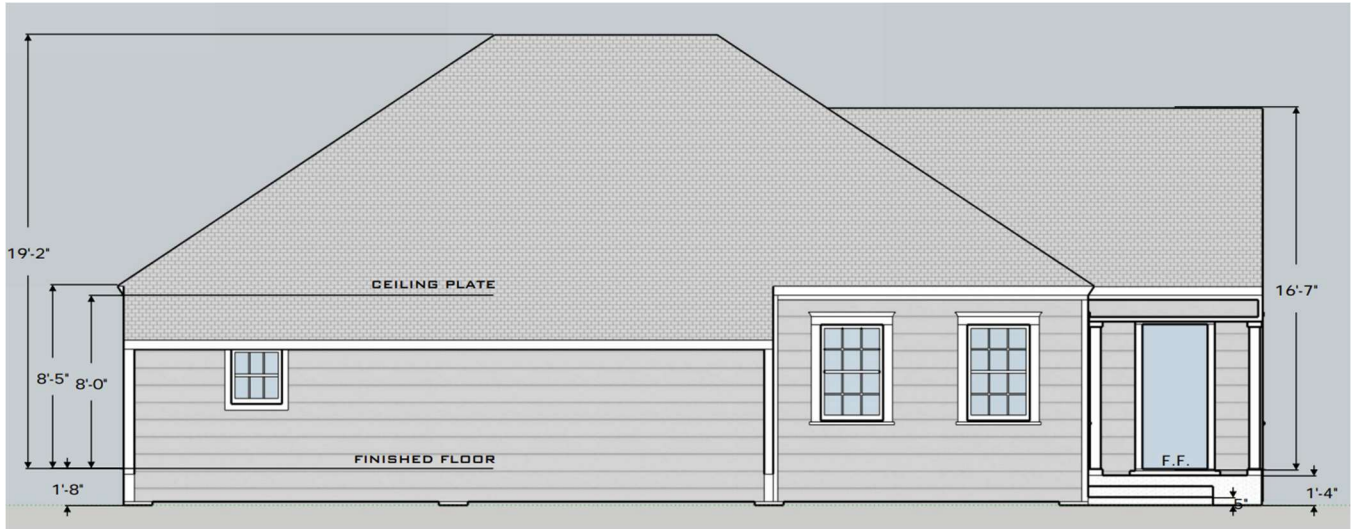
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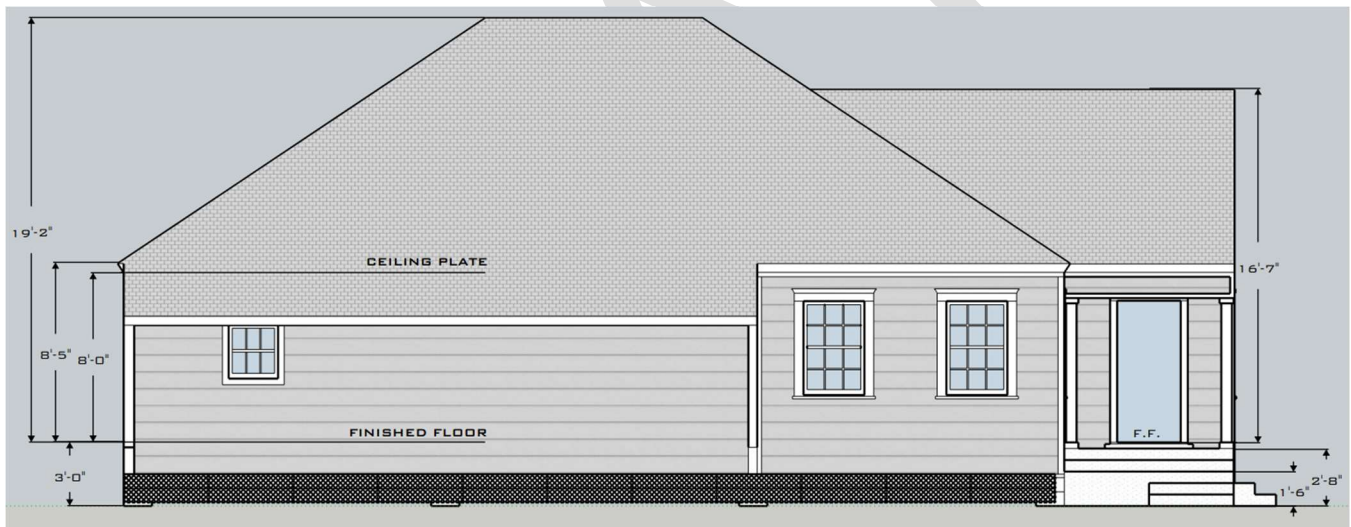
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## LEFT (EAST) ELEVATIONS EXISTING



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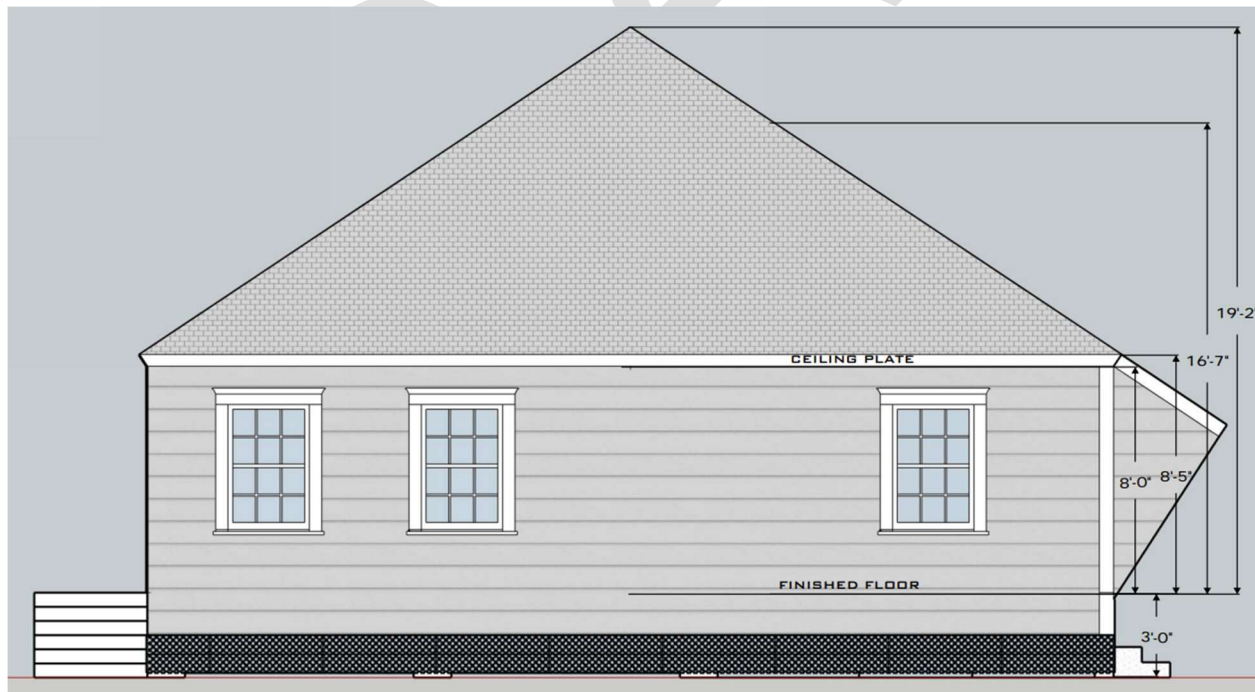
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## REAR (SOUTH) ELEVATION EXISTING



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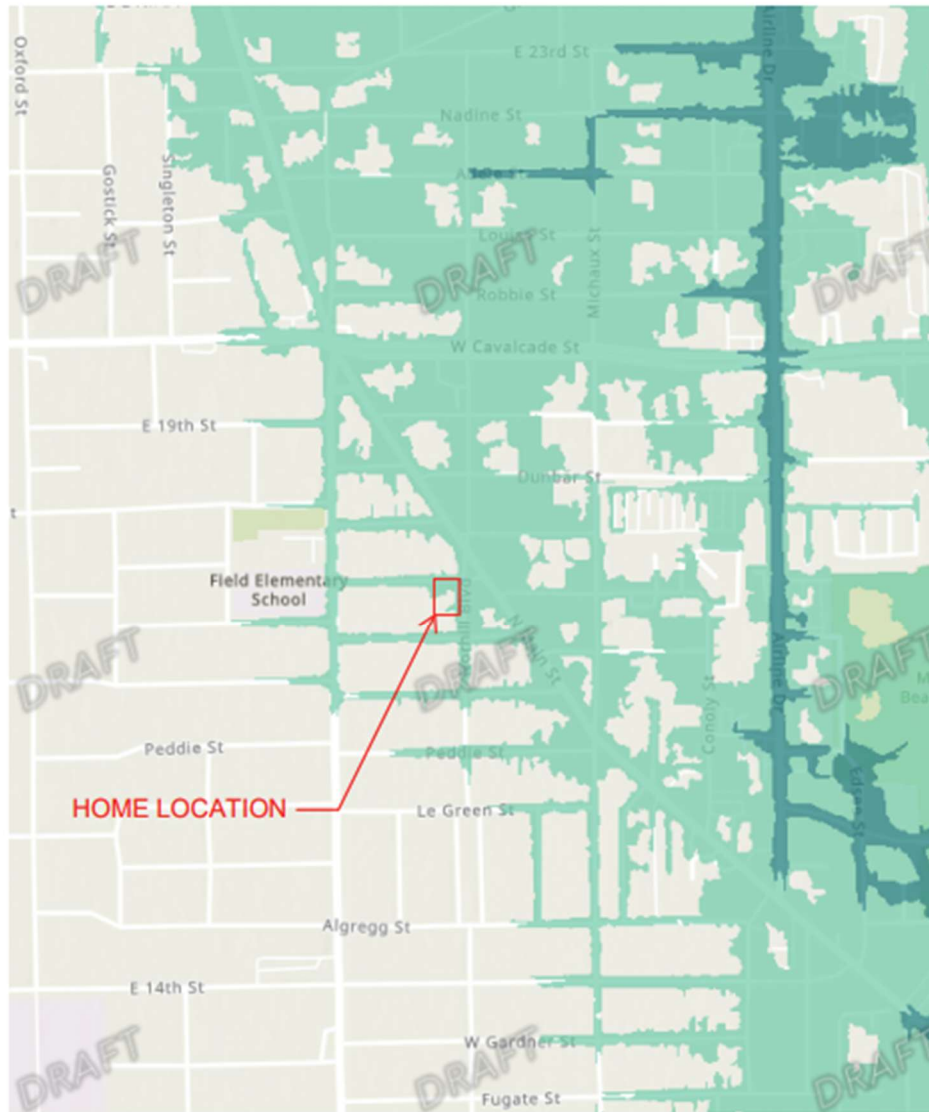
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MAP PROVIDED BY OWNER

## MAAPNEXT DRAFT FLOOD RISK MAP



### Proposed Flood Hazard Zones

- Draft Floodway (Extreme Risk)
- Draft 100-year Floodplain (High Risk - Special Flood Hazard Area)
- Draft 500-year Floodplain (Moderate Risk)
- Low Risk



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## ADDITIONAL PHOTOS





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