



CERTIFICATE OF APPROPRIATENESS

Reviewed by the Houston Archaeological and Historical Commission

ITEM A5

HPO File #: HP2026_0167

September 10, 2026

3023 Del Monte Dr.

Protected Landmark:

Mr. & Mrs. John P. Bullington House

Applicant: Spencer Harkness, owner, Nadia Palacios Lauterbach, agent

Property: 3023 Del Monte Drive, Texas, Lot 1, Block 31, River Oaks Section 1, Harris County, Houston, Texas 77019. The site includes a single-family, two and a half story 6,568 square foot home built on a 26,775 square foot lot. The lot is 125 feet by 210 feet and is located on the north side of Del Monte Drive.

Significance: Contributing Greek Revival, Modeled after the Le Carpentier-Beauregard-Keyes House in New Orleans constructed circa 1938, located in the River Oaks.

Proposal: **Alteration – Addition:**

The project proposes exterior and interior alterations along with the construction of a **two-story rear addition**. The design retains the **original historic corner of the building footprint**, and the new construction will be **inset** to maintain the existing form and hierarchy of the historic structure. The proposed addition is based on documented drawings reflecting **Birdsall Briscoe's original architectural intent**, preserving the symmetrical composition and overall character of the residence while allowing for expanded space.

Alteration – Windows

The applicant proposes to replace all existing windows with **custom-made, double-hung, counterweight, double-glazed insulated wood windows** designed to match the profiles, appearance, and operation of the existing historic windows. All new windows will be **properly inset and recessed** to maintain historic depth, shadow lines, and façade detailing.

Public Comment: No comment received.

Civic Association: No comment received.

Recommendation: **Approval with conditions:** Only the rear windows may be replaced. All original windows visible from the public right-of-way on the front and side elevations must be retained.

HAHC Action: -



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APPROVAL CRITERIA

ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS

Sec. 33-241: HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark, (ii) protected landmark, (iii) any building, structure or object that is part of an archaeological site, or (iv) contributing building in a historic district upon finding that the application satisfies the following criteria, as applicable:

S D NA

S - satisfies D - does not satisfy NA - not applicable

- | | | | |
|-------------------------------------|-------------------------------------|--------------------------|---|
| ☒ | ☐ | ☐ | (1) The proposed activity must retain and preserve the historical character of the property; |
| ☒ | ☐ | ☐ | (2) The proposed activity must contribute to the continued availability of the property for a contemporary use; |
| ☒ | ☐ | ☐ | (3) The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance; |
| ☒ | ☐ | ☐ | (4) The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment; |
| ☒ | ☐ | ☐ | (5) The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site; |
| ☒ | ☐ | ☐ | (6) New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale; |
| ☒ | ☐ | ☐ | (7) The proposed replacement of exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures; |
| ☒ | ☐ | ☐ | (8) Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site; |
| ☐ | ☒ | ☐ | (9) The proposed design for any exterior alterations or addition must not destroy significant historical, architectural, archaeological or cultural material, including but not limited to siding, windows, doors and porch elements;
the existing original windows are in good condition and retain their historic material and profiles. Their replacement would unnecessarily remove intact architectural fabric, which the criterion specifically seeks to preserve. |
| ☒ | ☐ | ☐ | (10) The proposed alteration or addition must be compatible with the massing, size, scale material and character of the property and the context area; and |
| ☒ | ☐ | ☐ | (11) The distance from the property line to the front and side walls, porches, and exterior features of any proposed addition or alteration must be compatible with the distance to the property line of similar elements of existing contributing structures in the context area.. |



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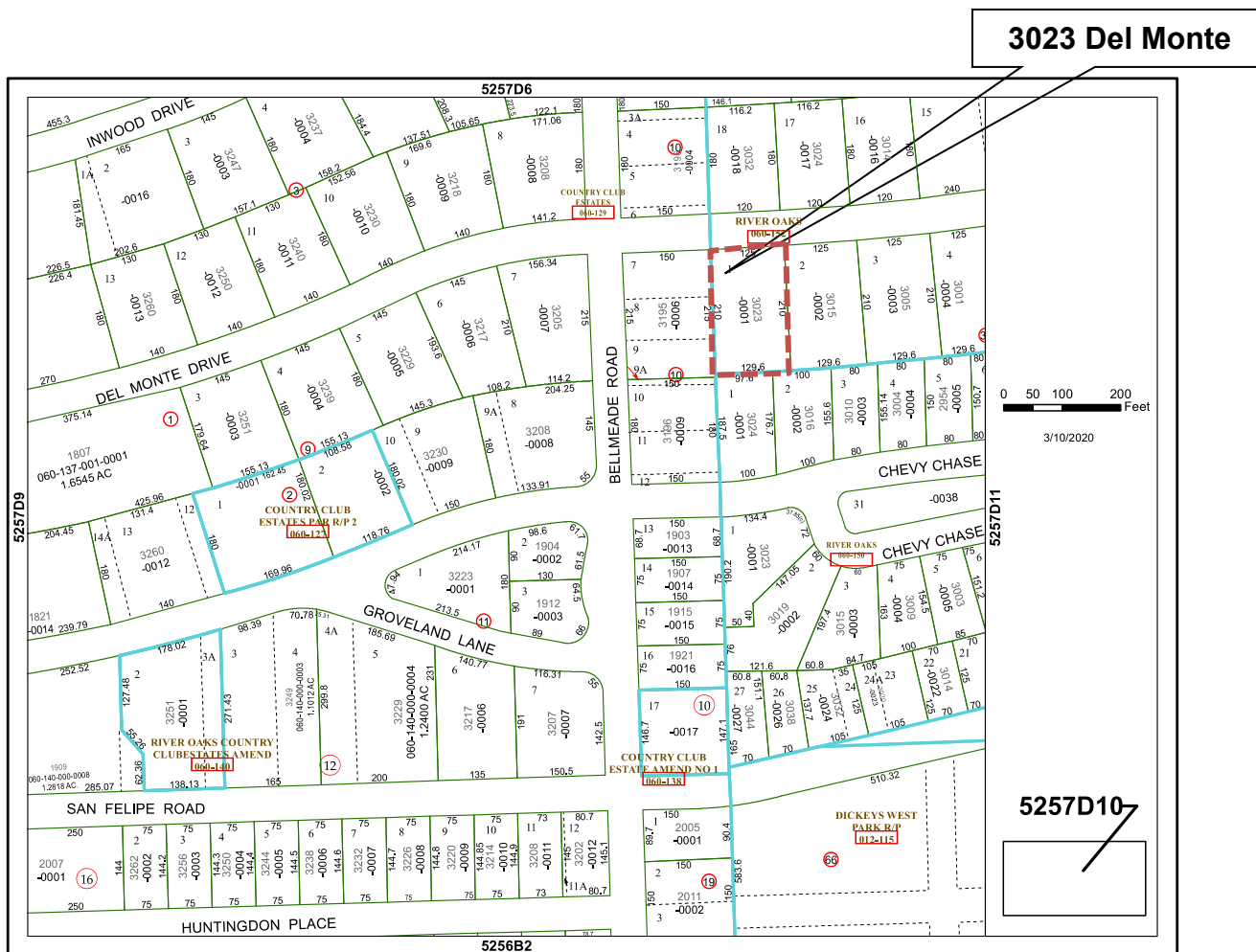
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PROPERTY LOCATION





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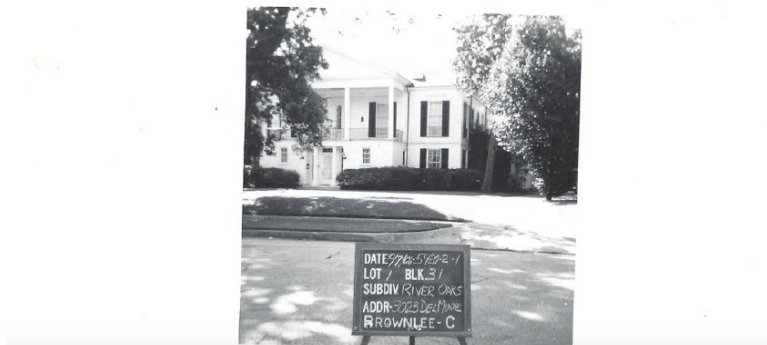
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INVENTORY PHOTO



HISTORIC PHOTO

1966 SURVEY





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CONTEXT AREA



Figure 1_ 3196 Del Monte _across the street



Figure 2- 3015 Del Monte(L)_next door neighbor



Figure 3_ 3195 Del Monte_next door neighbor



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EXISTING PHOTOS





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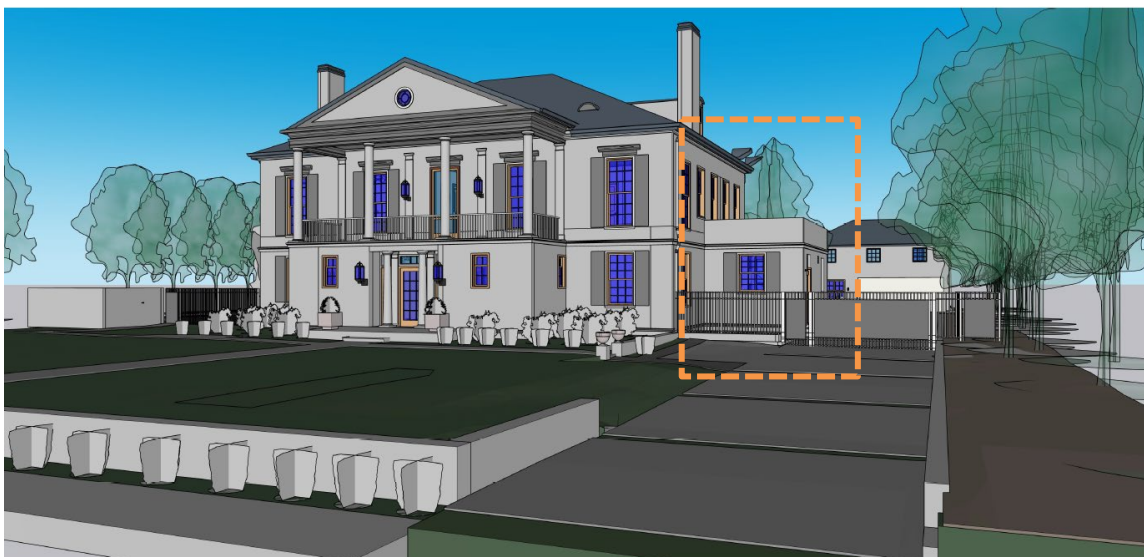
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3D RENDERING



EXISTING CONDITION



PROPOSAL



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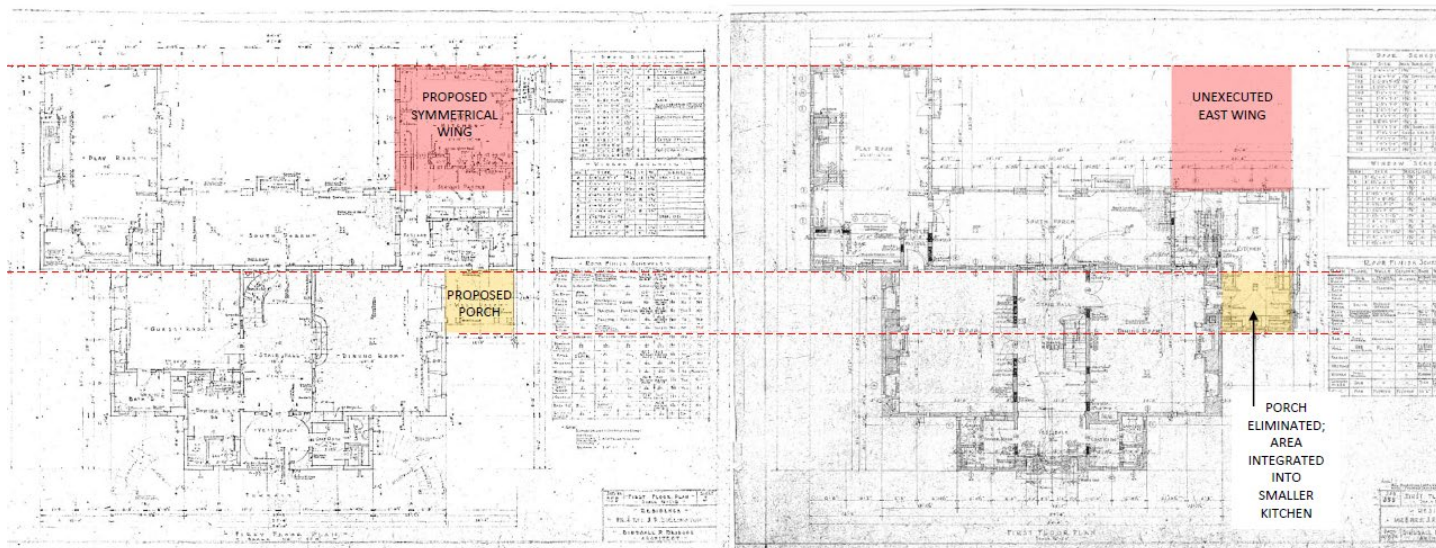
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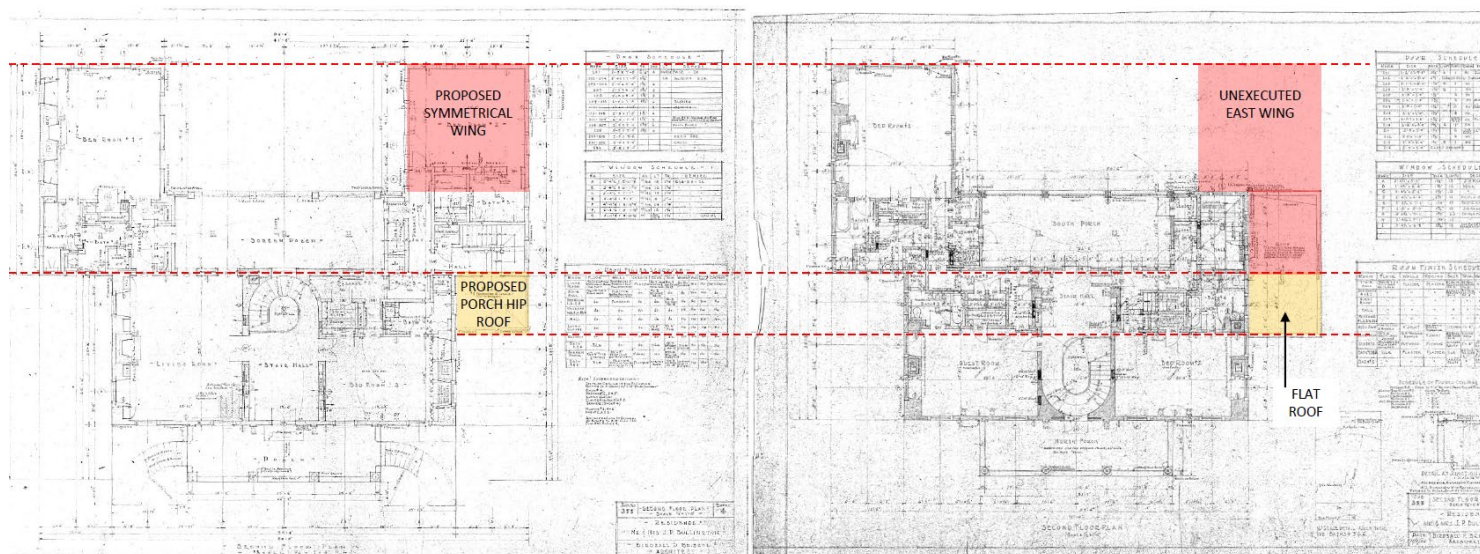
HISTORIC PLAN ANALYSIS



ORIGINAL INTENT
FIRST FLOOR PLAN (DATE UNKNOWN)

FINAL DESIGN
FIRST FLOOR PLAN (1936)

Original drawings by Birdsall Briscoe in the homeowners' possession demonstrate the original intent for a symmetrical home.



ORIGINAL INTENT
SECOND FLOOR PLAN (DATE UNKNOWN)

FINAL DESIGN
SECOND FLOOR PLAN (1936)

Original drawings by Birdsall Briscoe in the homeowners' possession demonstrate the original intent for a symmetrical home.



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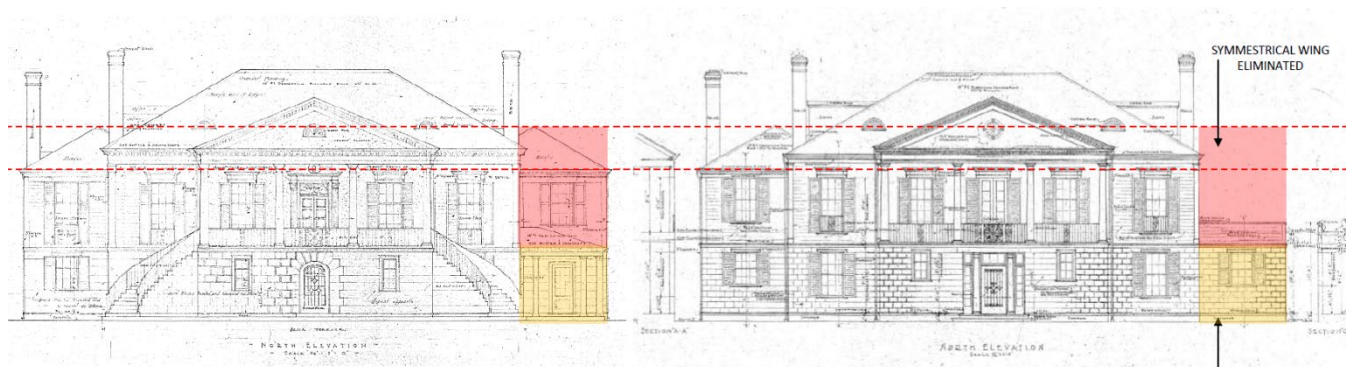
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HISTORIC ELEVATION ANALYSIS



ORIGINAL INTENT FRONT ELEVATION (DATE UNKNOWN)

Original drawings by Birdsall Briscoe in the homeowners' possession demonstrate the original intent for a symmetrical home.

FINAL DESIGN FRONT ELEVATION (1936)

PORCH ELIMINATED;
AREA INTEGRATED INTO
SMALLER KITCHEN



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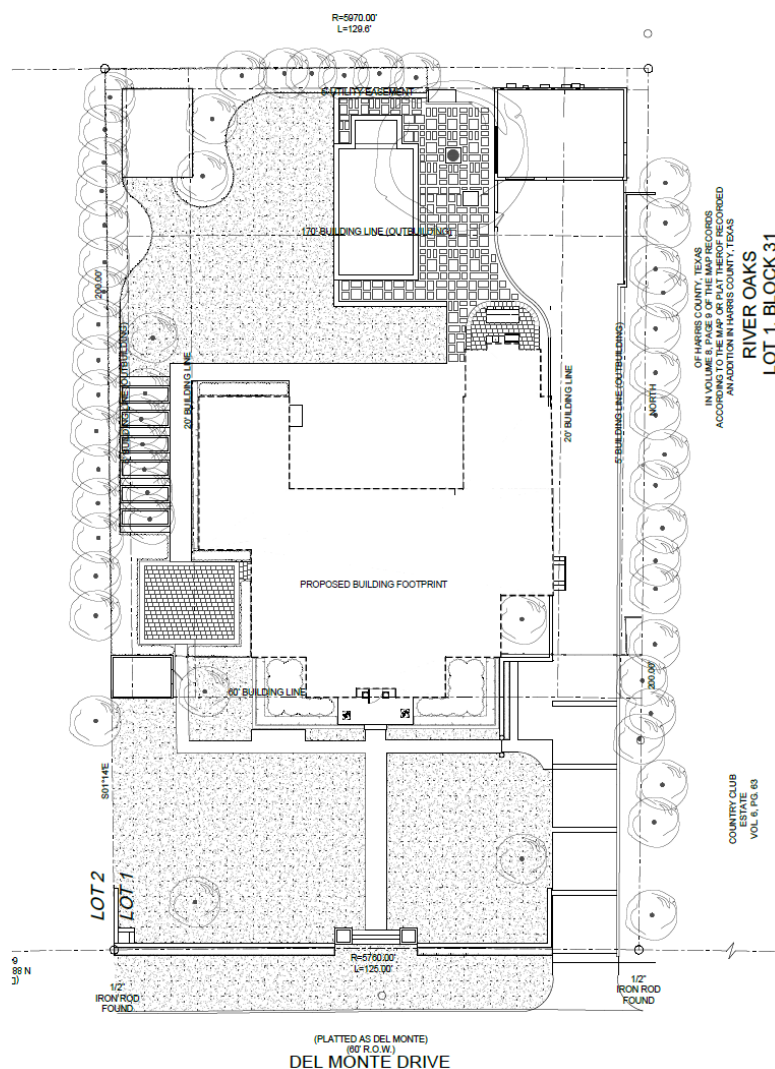
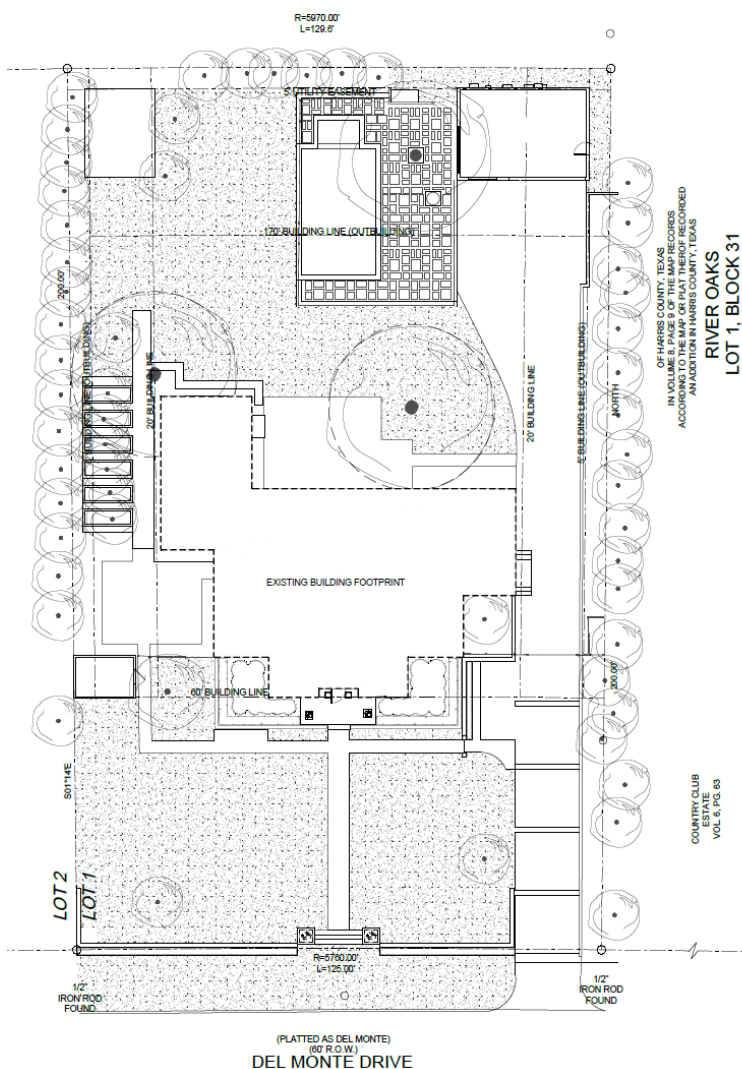
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SITE PLAN

EXISTING

PROPOSED





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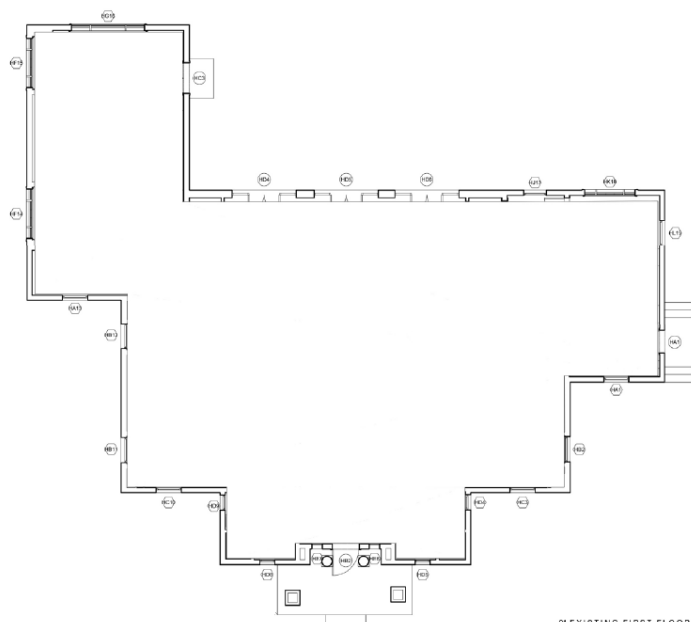
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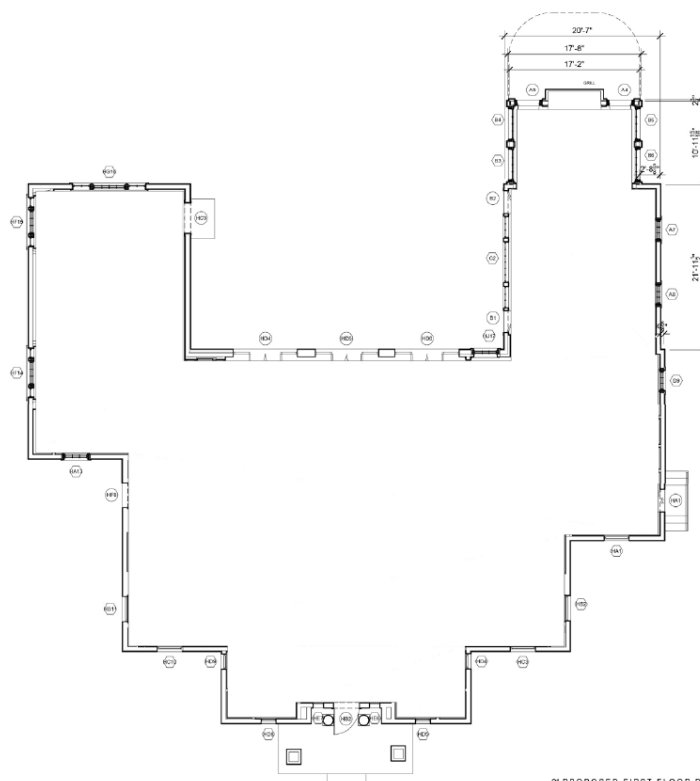
FIRST FLOOR PLAN

EXISTING

PROPOSED



01 EXISTING FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"



01 PROPOSED FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"



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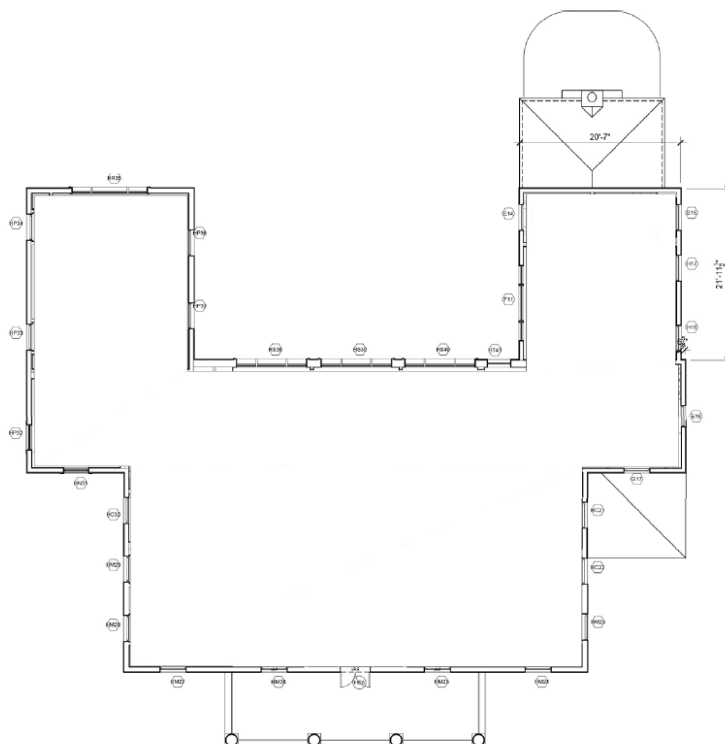
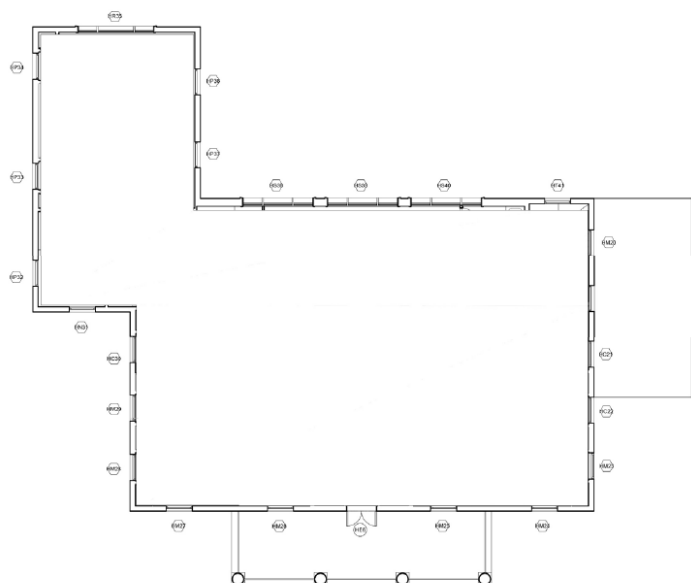
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SECOND FLOOR PLAN

EXISTING

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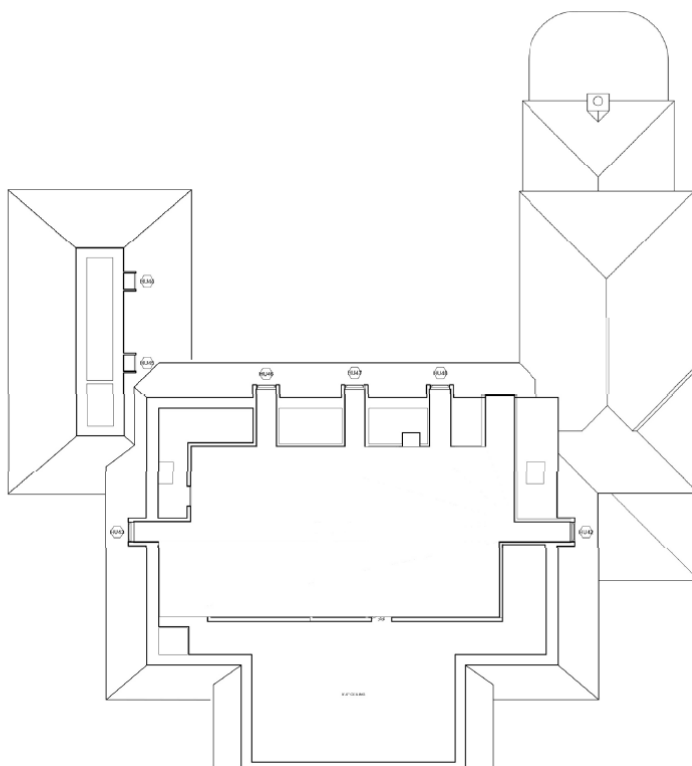
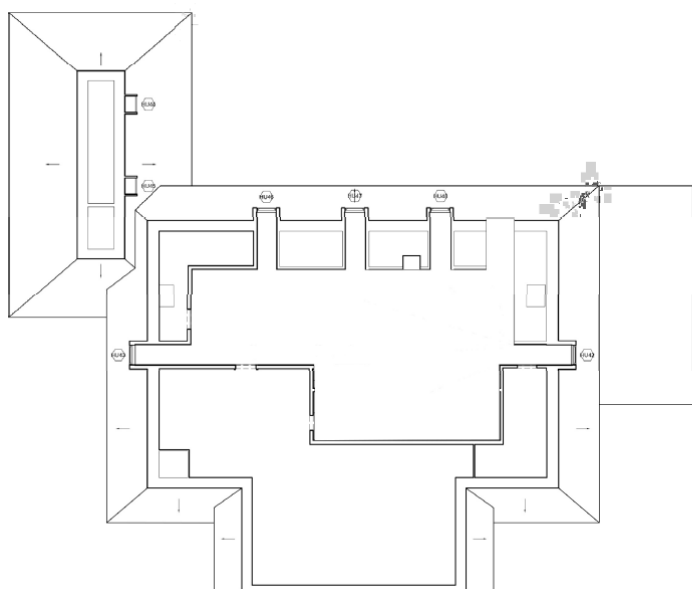
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THIRD FLOOR PLAN



EXISTING

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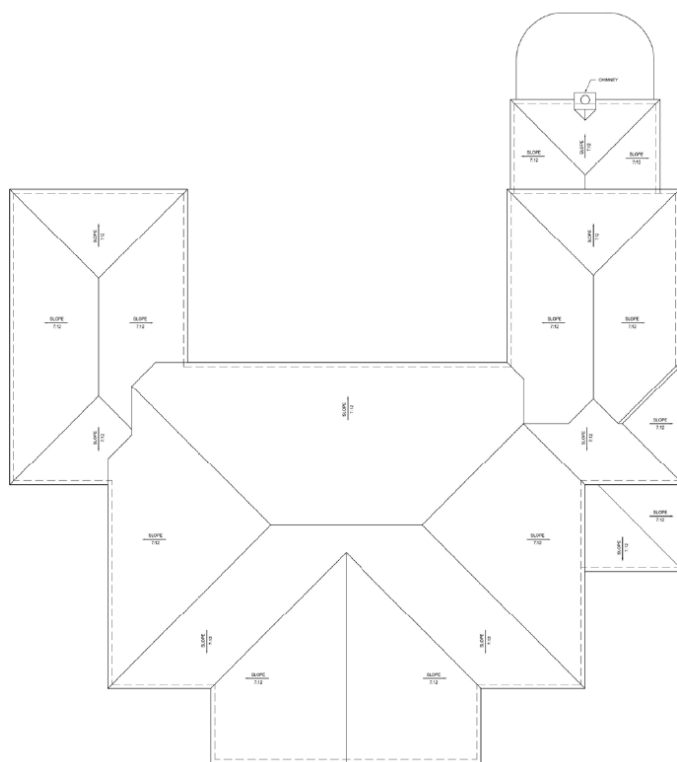
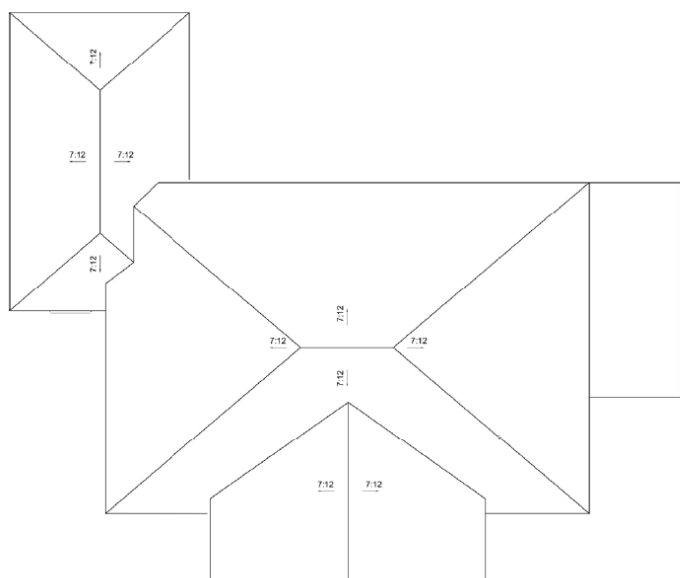
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ROOF PLAN

EXISTING

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NORTH (FRONT) ELEVATION

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EAST (SIDE) ELEVATION

PROPOSED



INCE

Nadia Palacios

EXISTING



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WEST (SIDE) ELEVATION

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SOUTH (REAR) ELEVATION

PROPOSED



EXISTING



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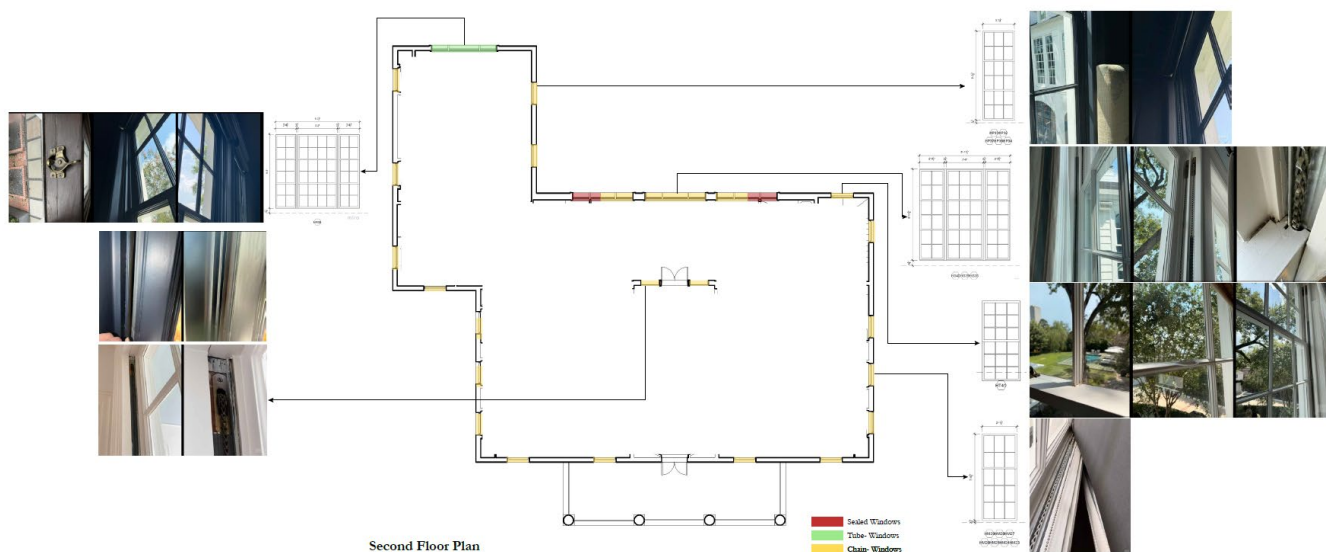
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WINDOWS





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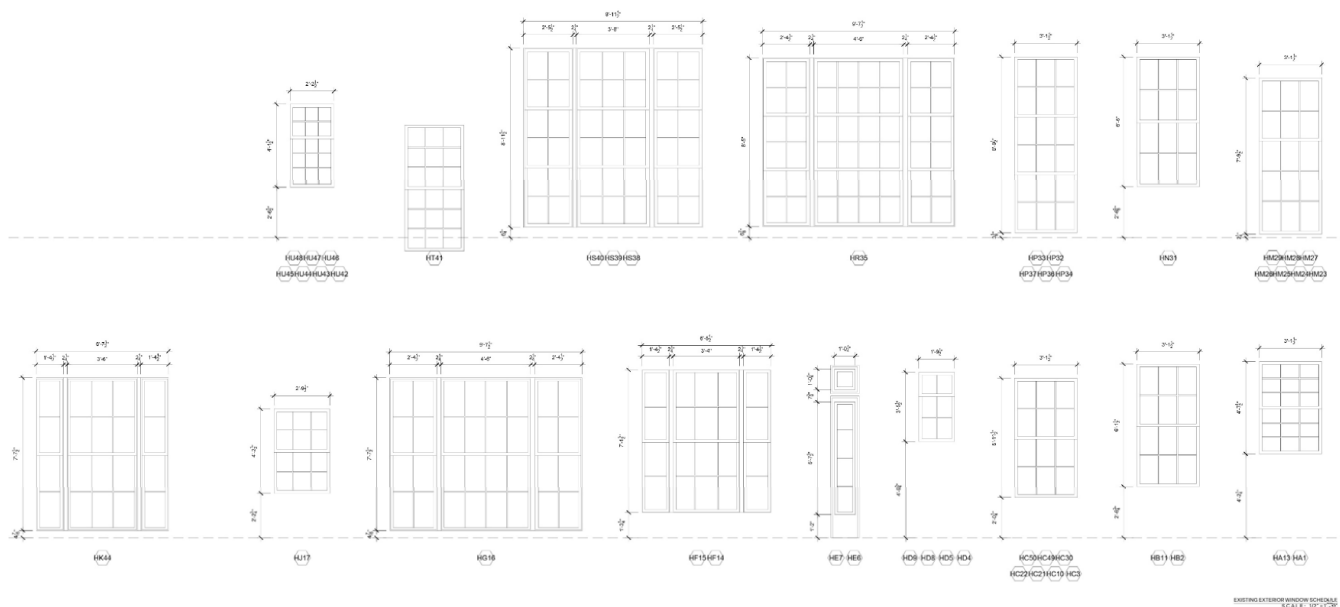
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EXISTING WINDOWS





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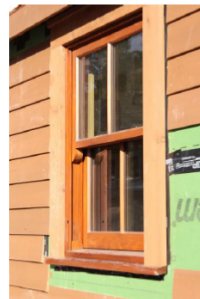
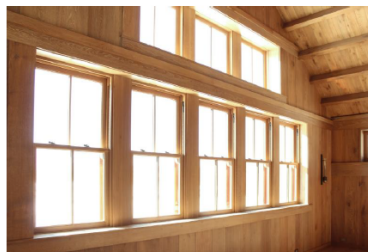
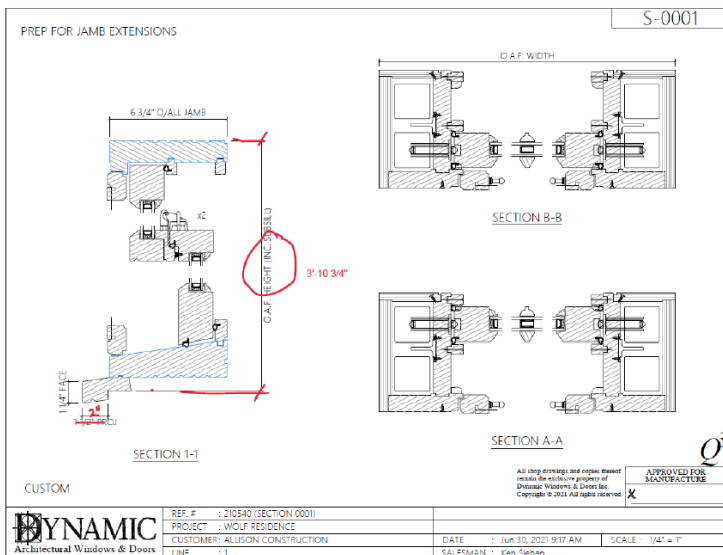
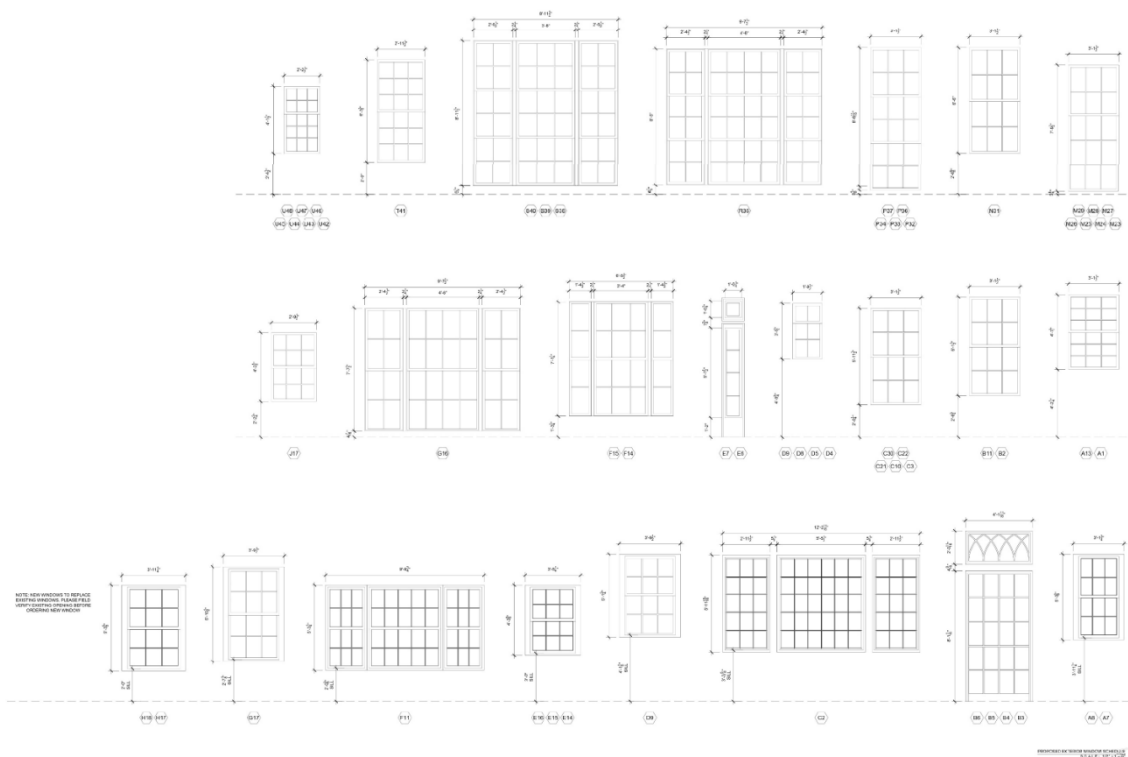
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PROPOSED WINDOWS



HARKNESS RESIDENCE
3023 DEL MONTE DRIVE
Houston, TX 77009

Nathan Delavies
RESIDENTIAL DESIGN LLC

PROPOSED NEW
WINDOW SPECS
DATE: 08/31/2026



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PROPOSED WINDOW DIAGRAM NORTH & SOUTH ELEVATIONS





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EAST & WEST ELEVATIONS





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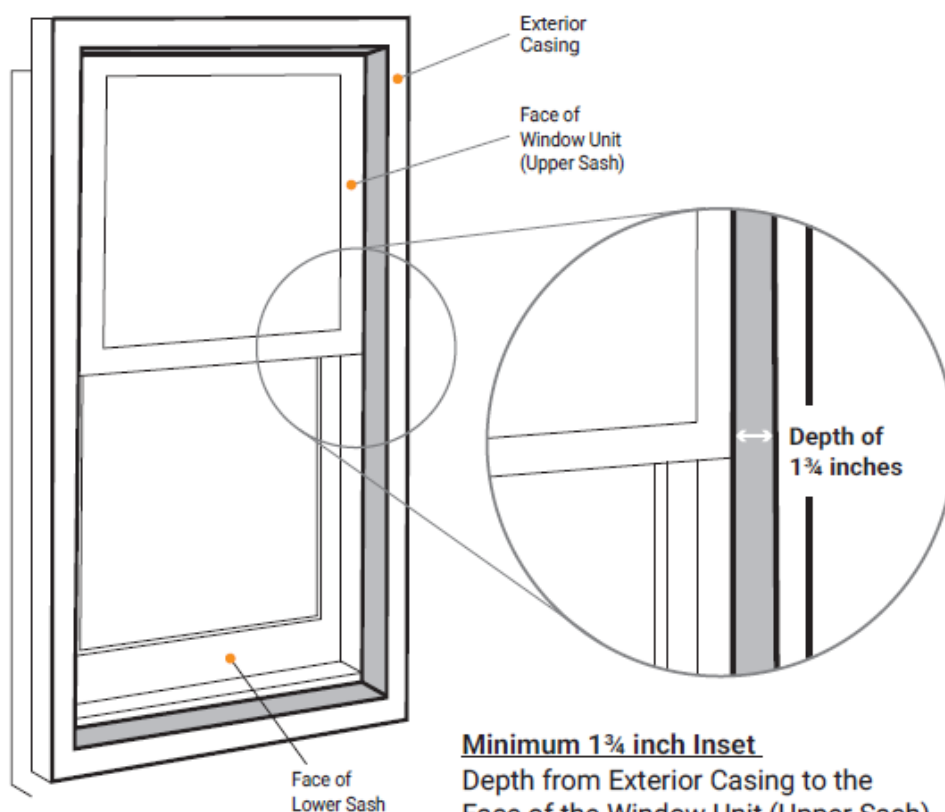
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Historic Window Standard: New Construction & Replacement



Minimum 1 3/4 inch Inset

Depth from Exterior Casing to the Face of the Window Unit (Upper Sash)

Windows must be 1-over-1
(equally horizontally divided)

1 3/4 inch minimum inset for Fixed Window

For more information contact:

Houston Office of Preservation

832-393-6556

historicpreservation@houstontx.gov