



CERTIFICATE OF APPROPRIATENESS

Issued by the Houston Archaeological and Historical Commission

ITEM A2
HPO File #: HP2026_0244

September 10, 2026

1505 Tulane Street
Houston Heights West

Applicant: Justin Patterson, agent for Paul Griffin, owner

Property: 1505 Tulane Street, Lots 16 & 17 Block 145. The property is a 2,192 square foot one-story wood single-family residence situated on a 8,799 square (66'66" x 132') foot corner lot.

Significance: Contributing Craftsman property constructed circa 1930, located in the Houston Heights West Historic District.

Proposal: New Construction – Garage

The project consists of a detached two-story, two-car garage and shop with a 649 sq ft second-floor garage apartment, located on the north side of the property. The first-floor footprint is 680 sq ft, of which 528 sq ft is exempt from lot coverage because the garage is detached and connected to the main house only by an unconditioned breezeway.

The garage will feature horizontal lap Hardie siding with an 8" exposure, a composition shingle roof, and a 6/12 hipped roof form with a 24'-9 1/8" ridge height and 18'-10 5/8" eave height. The design also includes a covered, unconditioned breezeway that shelters the external stair access.

All new windows will be wood, inset, and recessed to maintain appropriate depth and compatibility with the architectural character of the property.

Public Comment: No comment received.

Civic Association: No comment received.

Recommendation: Approval

HAHC Action: -



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APPROVAL CRITERIA

NEW CONSTRUCTION IN A HISTORIC DISTRICT

Sec. 33-242: HAHC shall issue a certificate of appropriateness for new construction in a historic district upon finding that the application satisfies the following criteria:

S D NA

S - satisfies D - does not satisfy NA - not applicable

- | | | | |
|-------------------------------------|--------------------------|--------------------------|---|
| ☒ | ☐ | ☐ | (1) The distance from the property line of the front and side walls, porches, and exterior features of any proposed new construction must be compatible with the distance from the property line of similar elements of existing contributing structures in the context area; |
| ☒ | ☐ | ☐ | (2) The exterior features of the new construction must be compatible with the exterior features of existing contributing structures in the context area; |
| ☒ | ☐ | ☐ | (3) The scale and proportions of the new construction, including the relationship of the width and roofline, overall height, eave height, foundation height, porch height, roof shape, and roof pitch, and other dimensions to each other, must be compatible with the typical scale and proportions of existing contributing structures in the context area unless special circumstances, such as an atypical use, location, or lot size, warrant an atypical scale and proportions; and objects in the historic district; |
| ☒ | ☐ | ☐ | (4) The height of the new construction must not be taller than the typical height of existing contributing structures in the context area unless special circumstances, such as an atypical use, location, or lot size, warrant an atypical height, except that;

(a) Design guidelines for an individual historic district may provide that a new construction with two stories maybe be constructed in a context area with only one-story contributing structures as long as the first story of the new construction has proportions compatible with the contributing structures in the context area, and the second story has similar proportions to the first story; and

(b) A new construction shall not be constructed with more than one story in a historic district that is comprised entirely of one-story contributing structures, except as provided for in design guidelines for an individual historic district. |



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HEIGHTS DESIGN GUIDELINES

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In accordance with Sec. 33-276, the proposed activity must comply with the City Council approved Design Guidelines.

S D NA

S - satisfies D - does not satisfy NA - not applicable

☒ ☐ ☐

Maximum Lot Coverage (Addition and New Construction)

LOT SIZE	MAXIMUM LOT COVERAGE
<4000	.44 (44%)
4000-4999	.44 (44%)
5000-5999	.42 (42%)
6000-6999	.40 (40%)
7000-7999	.38 (38%)
8000+	.38 (38%)

Existing Lot Size: 8,799 SF

Max. Allowed: 3,344 SF

Proposed Lot Coverage: 2,378 SF



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Maximum Floor Area Ratio (Addition and New Construction)

LOT SIZE	MAXIMUM FAR
<4000	.48
4000-4999	.48
5000-5999	.46
6000-6999	.44
7000-7999	.42
8000+	.40

Existing Lot Size: 8,799 SF

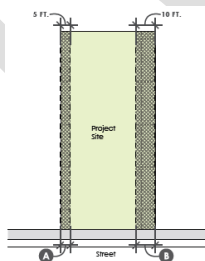
Max. FAR Allowed: 3,520 SF

Proposed FAR: 3,450 SF



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Side Setbacks (Addition and New Construction)



Note: This diagram shows just one example of a side setback configuration.

KEY	MEASUREMENT	APPLICATION
	3 FT.	Minimum distance between side wall and the property line for lots less than 35 feet wide
A	5 FT.	Minimum distance between the side wall and the property line
B	REMAINING	Difference between minimum side setback of 5 feet and minimum cumulative side setback
	6 FT.	Minimum cumulative side setback for lots less than 35 feet wide
C	10 FT.	Minimum cumulative side setback for a one-story house
	15 FT.	Minimum cumulative side setback for a two-story house

Proposed South side setback (1): 20', Proposed North side setback (2): 7'

Cumulative side setback: 27'



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Building Wall (Plate) Height (Addition and New Construction)

MEASUREMENT	APPLICATION
36 IN.	Maximum finished floor height (as measured at the front of the structure)
10 FT.	Maximum first floor plate height
9 FT.	Maximum second floor plate height

Proposed finished floor: 32"

Proposed first floor plate height: 10'

Proposed second floor plate height: 8'

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Rear Setbacks (Addition and New Construction)

The City of Houston requires a minimum setback of three feet from the rear property line for all properties, except under the following circumstances:

- A front-facing garage which is located with its rear wall at the alley may have a zero-foot setback.
- An alley-loading garage generally must be located to establish a minimum of 20 feet of clearance from an opposing alley-loading garage door, the rear wall of a front-facing garage, or a fence; a 24-foot clearance is preferred.

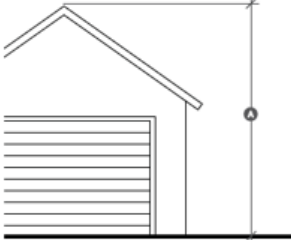


Proposed rear setback: 24' at least

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Detached Garage Ridge Height (New Construction)

RIDGE HEIGHT: 24'- 9 1/2"

GARAGE 1-STORY RIDGE HEIGHT			GARAGE 2-STORY RIDGE HEIGHT		
					
KEY	MEASUREMENT	APPLICATION	KEY	MEASUREMENT	APPLICATION
A	16 FT.	Maximum 1-story garage ridge height	A	26 FT.	Maximum 2-story garage ridge height (for garage apartment)



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DISTRICT MAP



Houston Heights West Historic District

Historic District Boundary

Building Classification

- Contributing
- Non-Contributing
- Park

Established: December 19, 2007

Source: GIS Services Division

Date: May 1, 2013

Reference: p17025_Heights_West

This map is made available for reference purposes only and should not be substituted for a survey product. The City of Houston will not accept liability of any kind in conjunction with its use.



PLANNING &
DEVELOPMENT
DEPARTMENT



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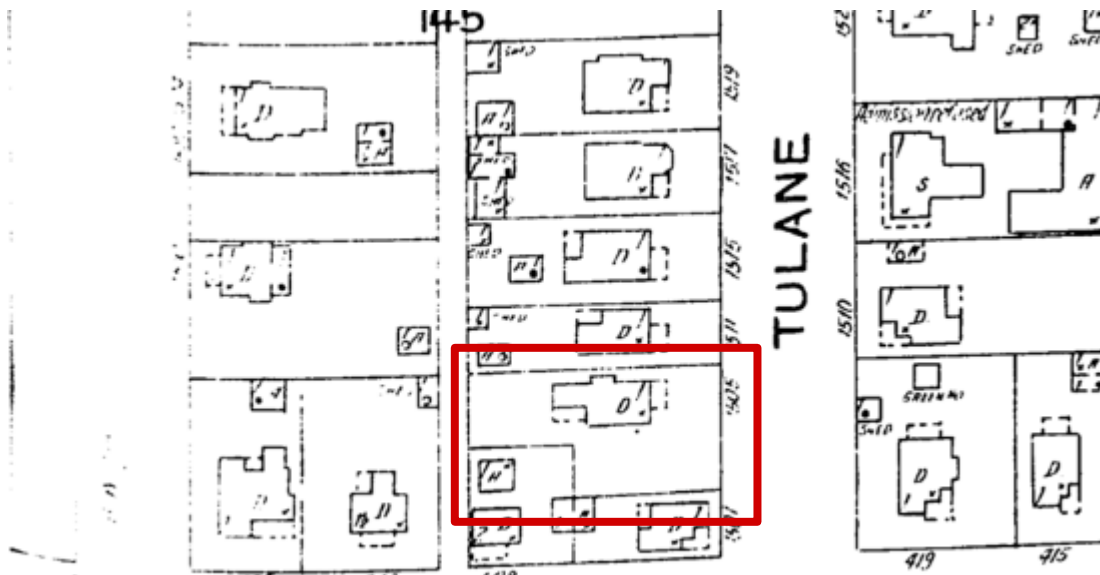
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SANBORN-1924-1950, VOL.7, 1925



BLA- 1937

Map No. _____ Addition <u>Houston Hts.</u>	
Block <u>145</u>	Lot <u>16-17</u>
OWNER <u>Bond, J. F.</u>	
ADDRESS <u>1505 Tulane</u>	
TYPE OF PROPERTY <u>Res</u>	OCCUPIED VACANT
BASEMENT, Whole Part	FLOORING, Pine, Hardwood, Cement, Tile, Marble, Dirt
FOUNDATION, Concrete, Stone, Brick, Piers, <u>Piers</u>	INTERIOR TRIM, Plaster, Hardwood, Marble, Metal, Built-in Features
WALLS, Brick, Stone, Hollow Tile, Stucco, Metal, Concrete Blocks, Box Weatherboard	HEATING, Furnace, Stoves, Fireplace, Chimneys, Gas
ROOF CONS., Concrete, Steel, Wood Truss	LIGHTING, Electricity
ROOF, Hip, Gable, Mansard, Flat	PLUMBING, Sewer, Water, Baths
ROOFING, Composition, Metal, Slate, Wood, Shingles, Tile, Asbestos	ELEVATORS
EXTERIOR TRIM, Stone, Terra Cotta, Metal, Wood, Marble, Granite	CONDITION, Good, Fair, Bad, Obsolete
PERMIT DATE <u>3/1/37</u> NO. <u>137</u> AMT. <u>?</u>	

IMPROVEMENTS			
No. Sq. Ft.	Price Per Sq. Ft.		
<u>1250</u>	<u>190</u>	\$ <u>2370</u>	
		Percent Good	
		<u>70</u>	<u>1660</u>
		Other Bldgs.	
		<u>(1)</u>	<u>1110</u>
		Total All Bldgs.	<u>1770</u>

LAND VALUE			
Front x Depth	Unit Value	Factor	Front Ft. Value - \$
<u>66.7 x 13</u>	<u>9</u>	<u>113</u>	<u>680</u>
TOTAL			
<u>370 - 440</u>			



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INVENTORY PHOTO

CURRENT PHOTO (APPLICANT)





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CURRENT PHOTOS (APPLICANT)





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CONTEXT AREA



1501 Tulane Street– Contributing – 2 STY

1511 Tulane Street– Contributing – 2 STY



1515 Tulane Street – Contributing – 2 STY



1530 Ashland Street – Contributing – 2 STY





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3D VIEWS

PROPOSED





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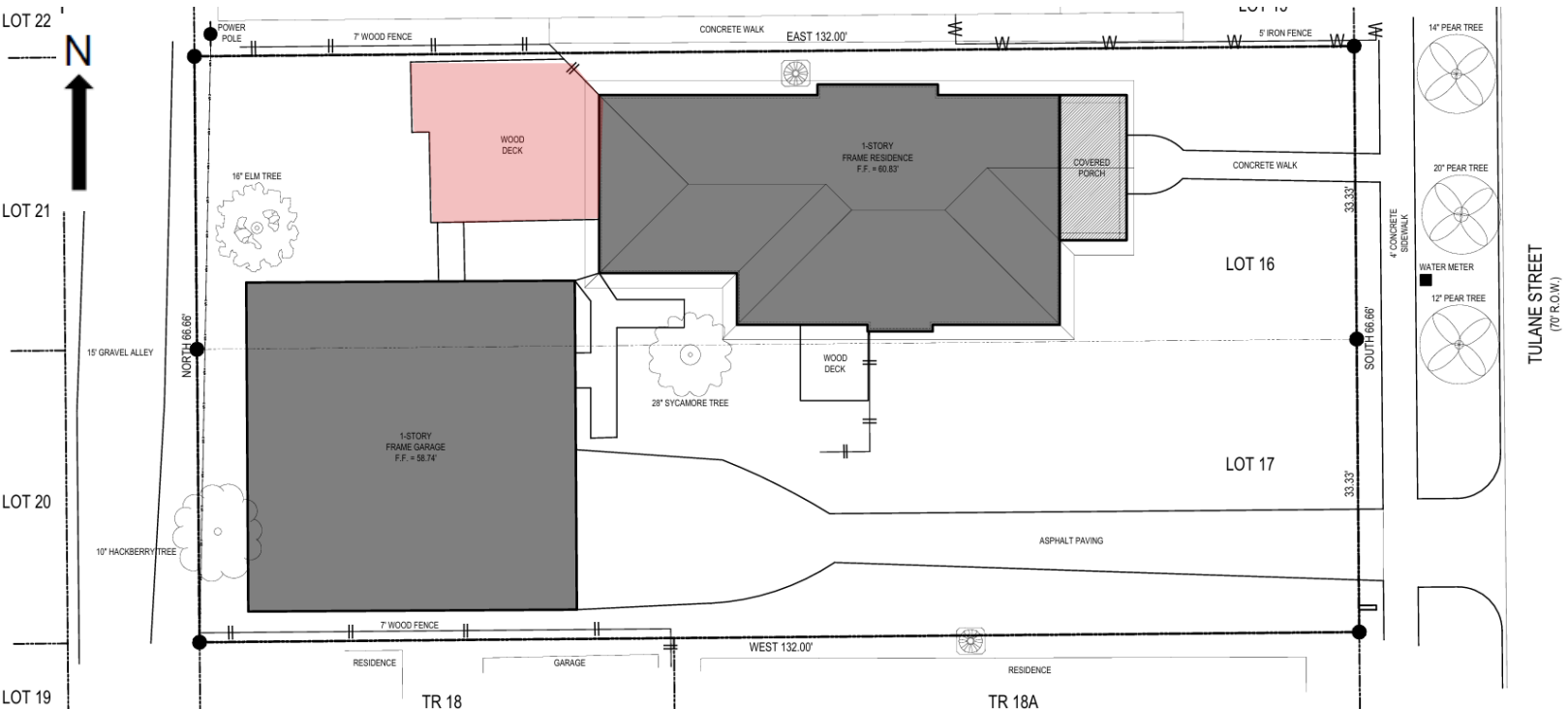
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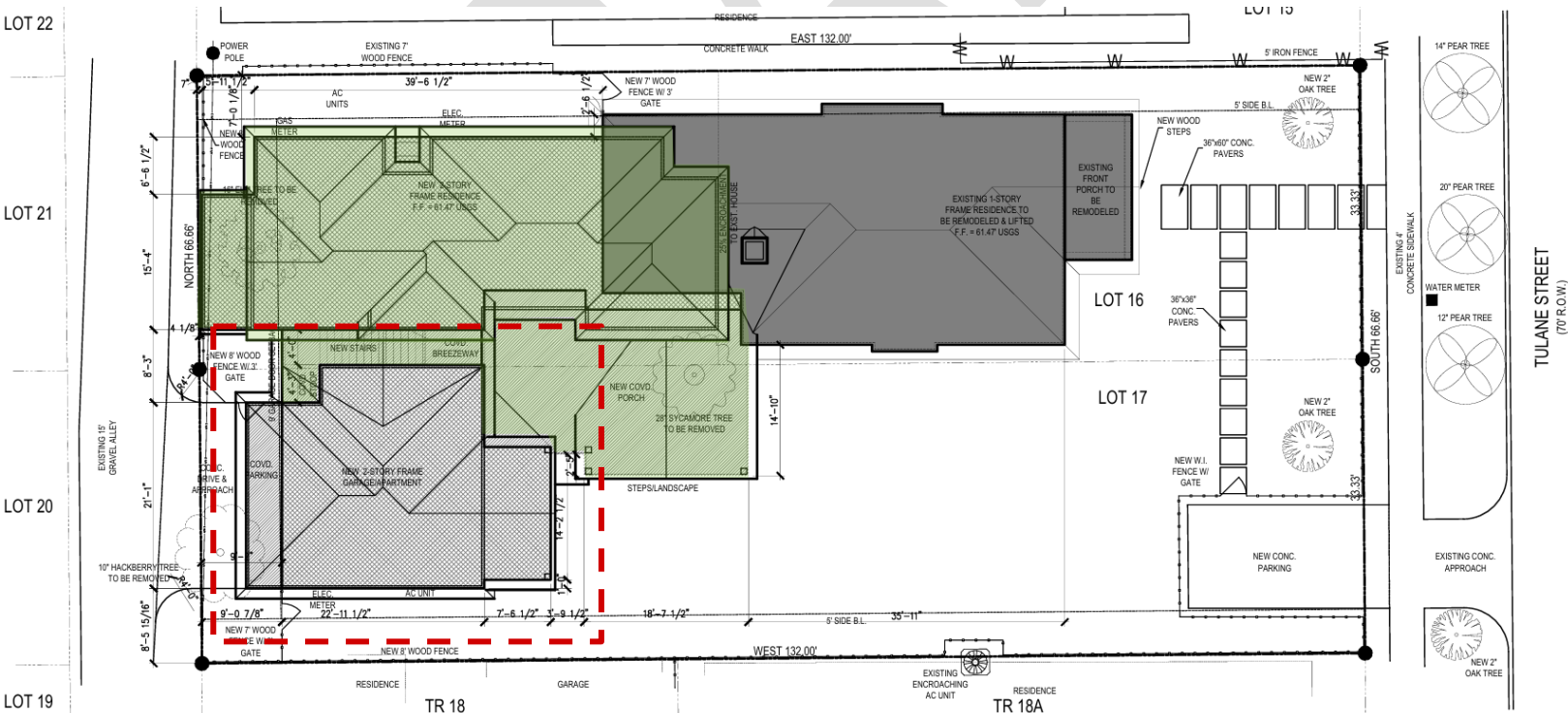
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SITE PLAN



EXISTING



PROPOSED



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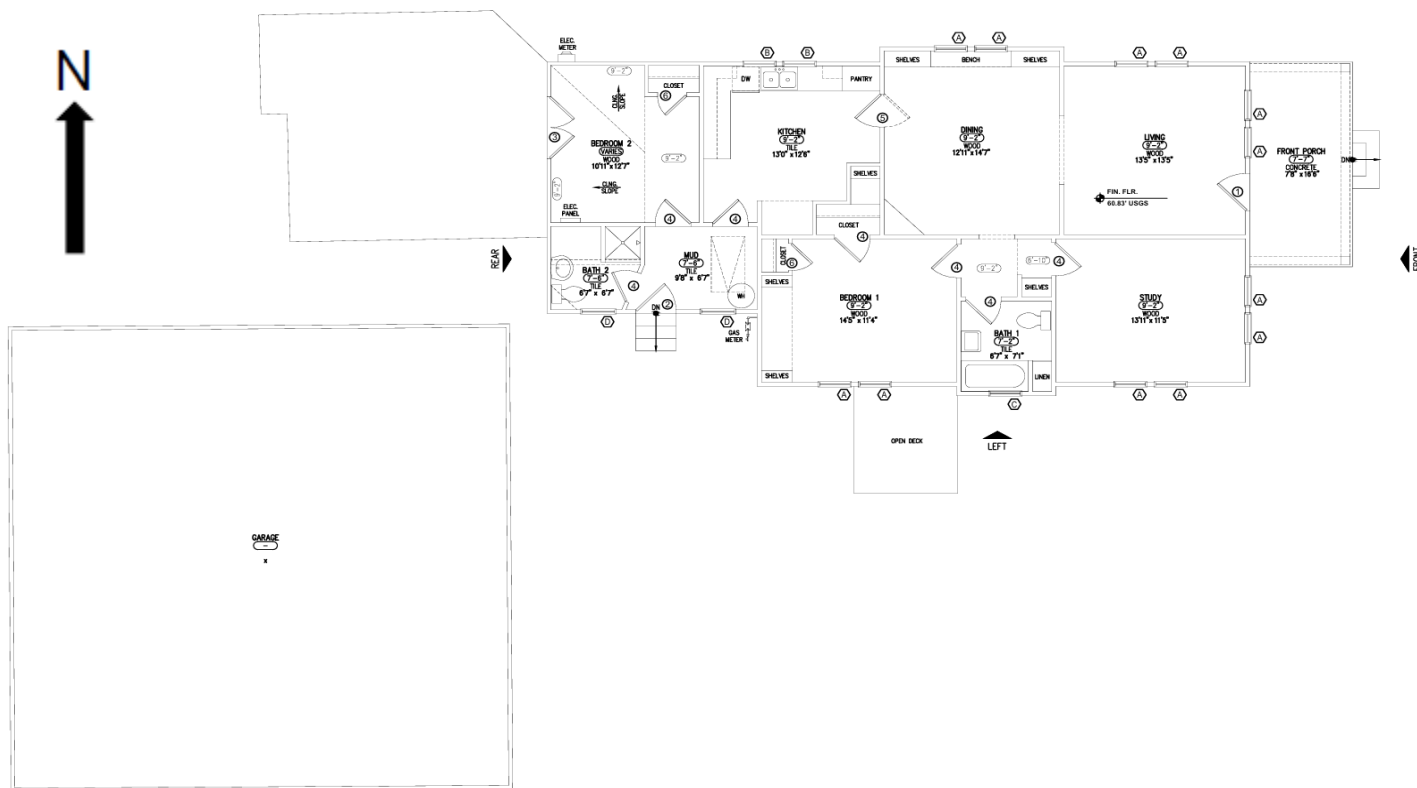
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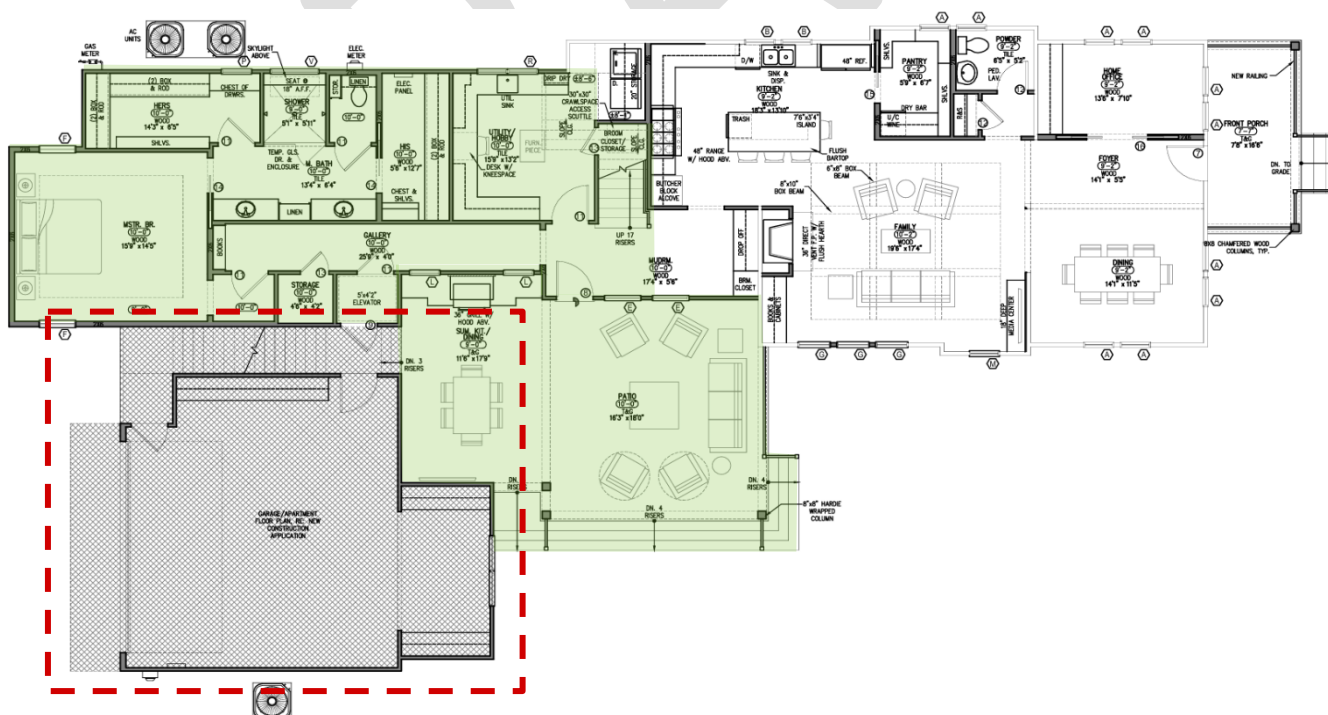
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FIRST FLOOR PLAN



EXISTING



PROPOSED



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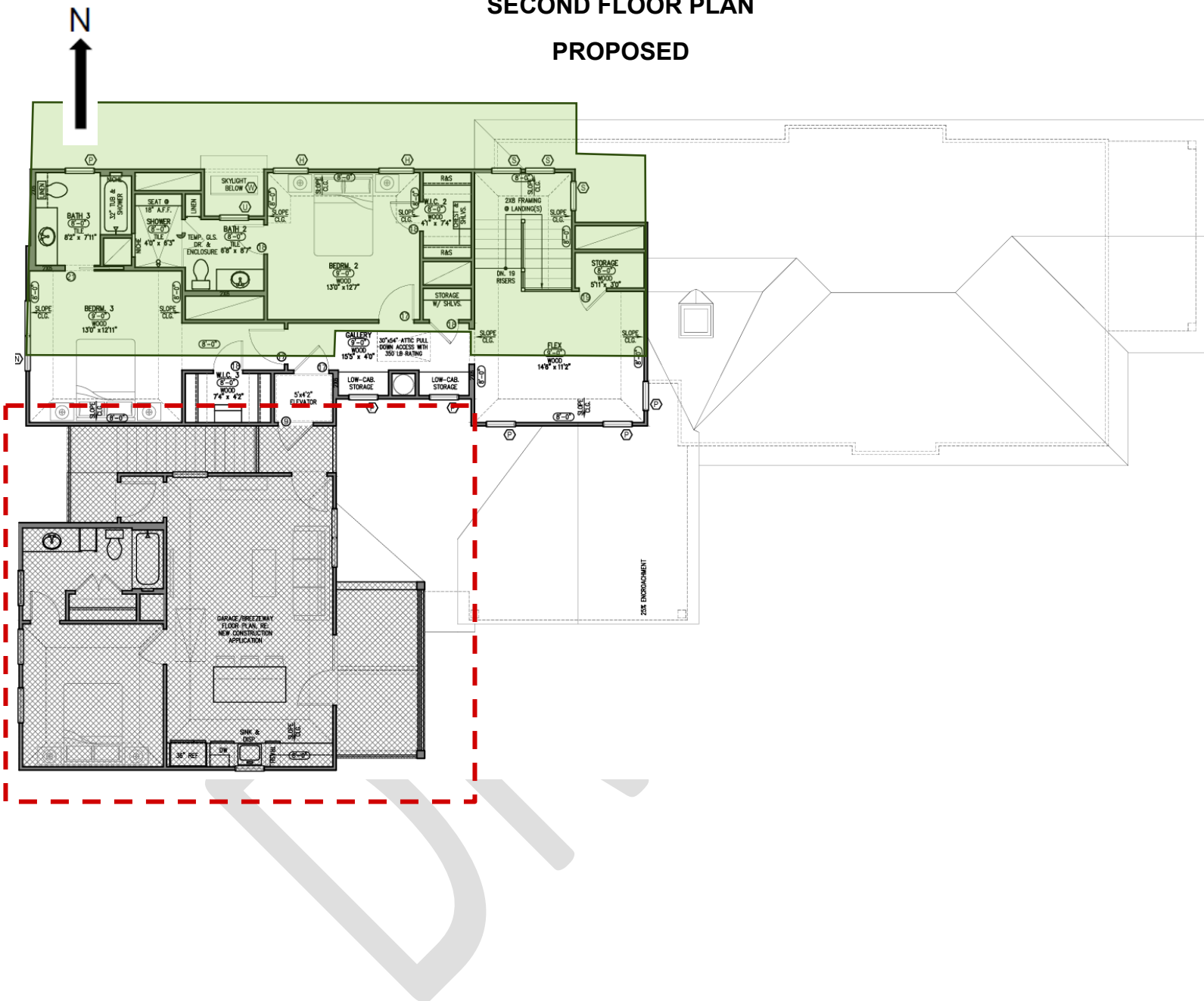
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SECOND FLOOR PLAN

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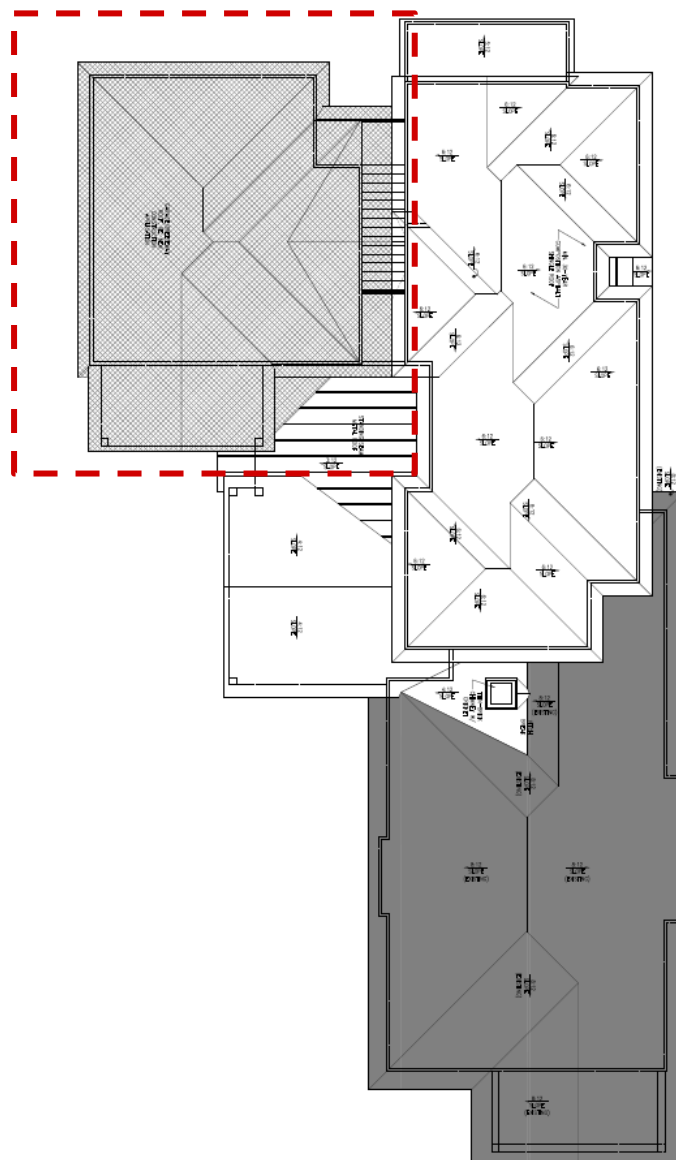
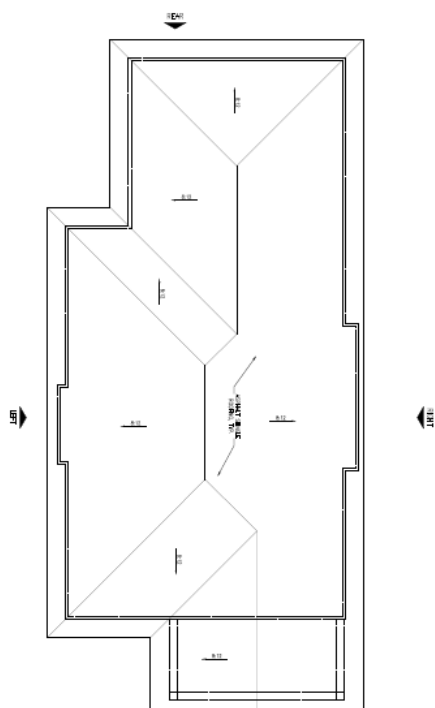
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EXISTING

ROOF PLAN

PROPOSED





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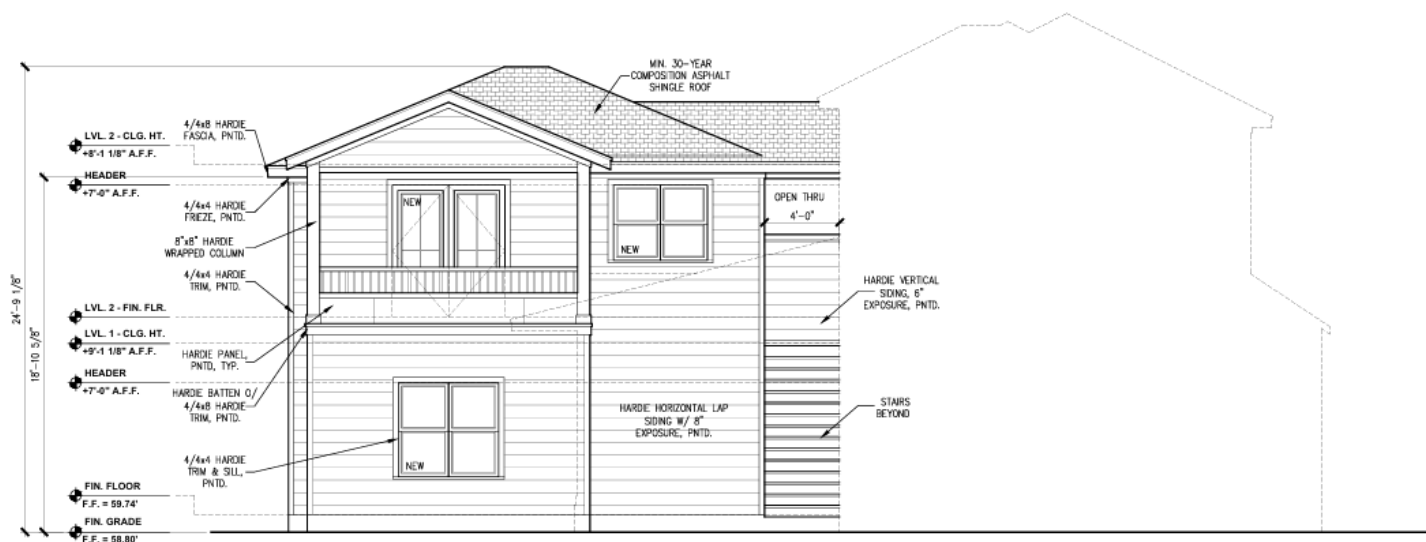
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FRONT (EAST) ELEVATION



PROPOSED EAST ELEVATION



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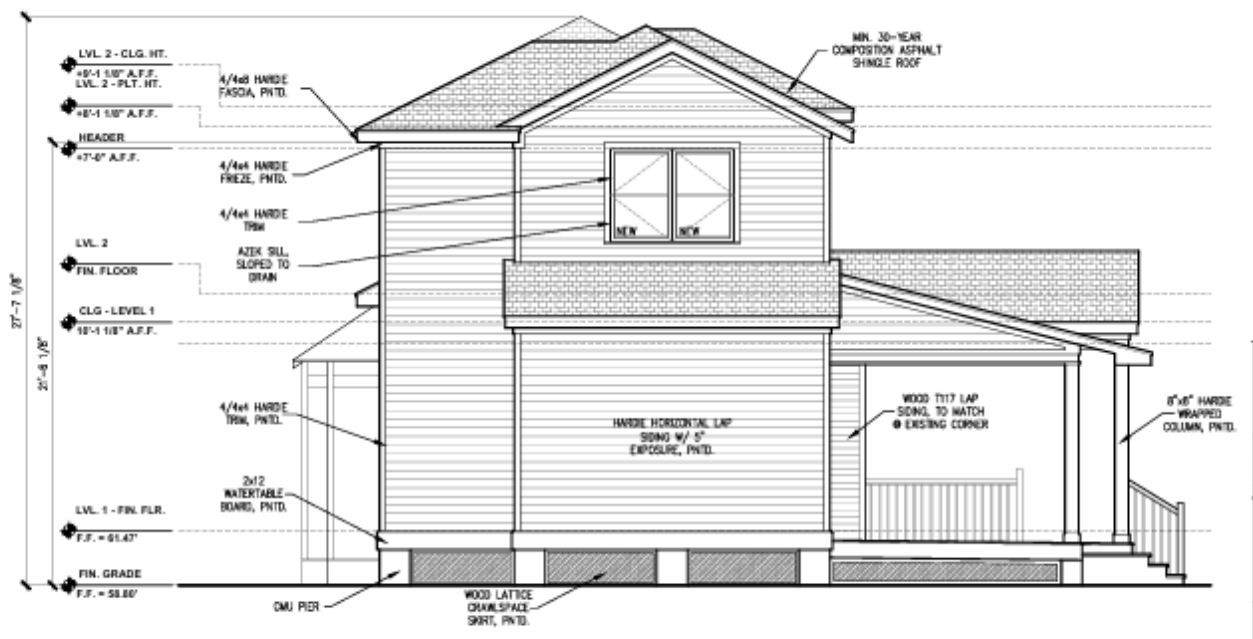
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REAR (WEST) ELEVATION



EXISTING WEST ELEVATION



PROPOSED WEST ELEVATION



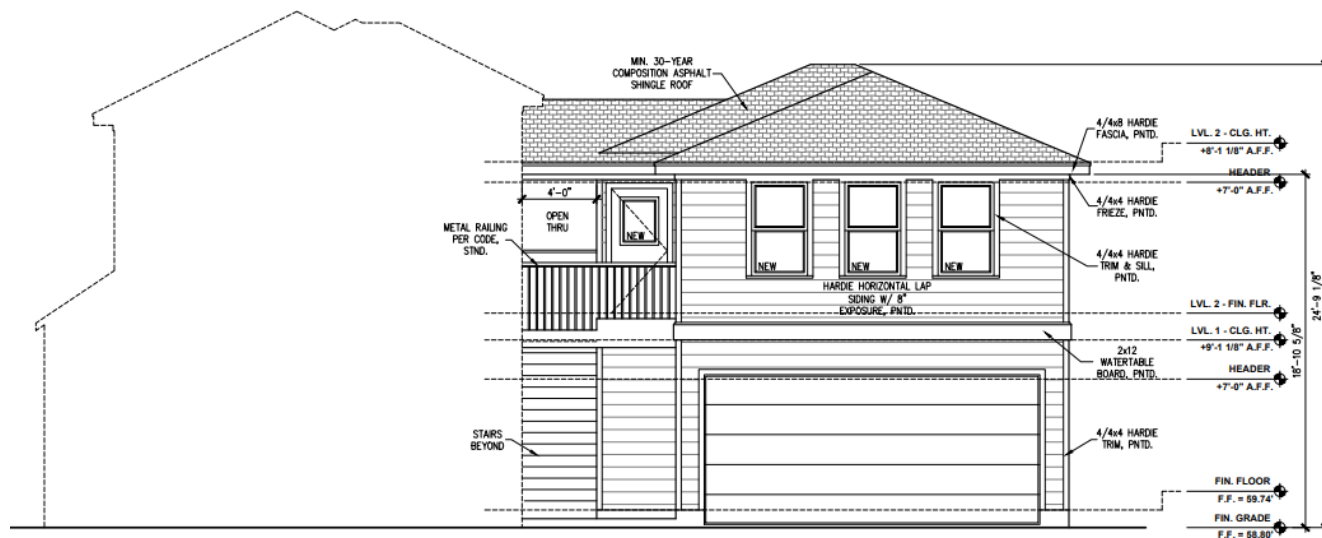
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DOOR AND WINDOW SCHEDULE

GARAGE

PROPOSED WINDOW SCHEDULE						
MARK	QTY	WIDTH	HEIGHT	TYPE	WALL	DESCRIPTION
(H)	4	3'-0"	5'-0"	SINGLE HUNG	2x4	APT. LIVING, APT. BEDROOM, APT. BATH
(K)	1	(2)2'-8"	5'-0"	SINGLE HUNG	2x4	SHOP
(S)	1	2'-6"	4'-0"	SINGLE HUNG	2x4	APT. KITCHEN
(T)	1	(2)2'-6"	4'-0"	SINGLE HUNG	2x4	APT. LIVING
DOOR SCHEDULE						
MARK	QTY	WIDTH	HEIGHT	TYPE	WALL	DESCRIPTION
(9)	4	3'-0"	6'-8"	EXTERIOR	2X4	GARAGE, APT. ENTRY, APT. LIVING
(10)	1	(2)3'-0"	6'-8"	EXTERIOR	2X4	APT. KITCHEN
(17)	1	3'-0"	6'-8"	INTERIOR	2X4	APT. BEDROOM
(18)	1	2'-6"	6'-8"	INTERIOR	2X4	APT. BATH
(20)	1	(2)2'-0"	6'-8"	INTERIOR	2X4	APT. CLOSET



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AREA CALCULATIONS

CALCULATIONS OF FLOOR AREA RATIO	
FIRST AND SECOND FLOOR	3,180 SQ. FT.
DETACHED GARAGE (OVER 528 SQ. FT.)	149 SQ. FT.
DETACHED GARAGE APT. (OVER 528 SQ. FT.)	121 SQ. FT.
TOTAL FLOOR AREA	3,450 SQ. FT.
LOT AREA	8,799 SQ. FT.
F.A.R. RATIO (40% MAXIMUM)	39.21%

CALCULATIONS OF LOT COVERAGE – HEIGHTS	
FIRST FLOOR	2,229 SQ. FT.
DETACHED GARAGE (OVER 528 SQ. FT.)	149 SQ. FT.
TOTAL LOT COVERAGE	2,378 SQ. FT.
LOT AREA	8,799 SQ. FT.
MAX. LOT COVG. RATIO (38% MAXIMUM)	27.03%

CALCULATIONS OF IMPERVIOUS COVERAGE – COH	
HOUSE & GARAGE	2,906 SQ. FT.
PORCHES, BREEZEWAY, & COVD. PARKING	874 SQ. FT.
STEPS, DRIVEWAY & SIDEWALK(S)	673 SQ. FT.
TOTAL IMPERVIOUS COVERED	4,453 SQ. FT.
LOT AREA	8,799 SQ. FT.
PERCENTAGE OF IMPERVIOUS AREA (70% MAXIMUM)	50.61%



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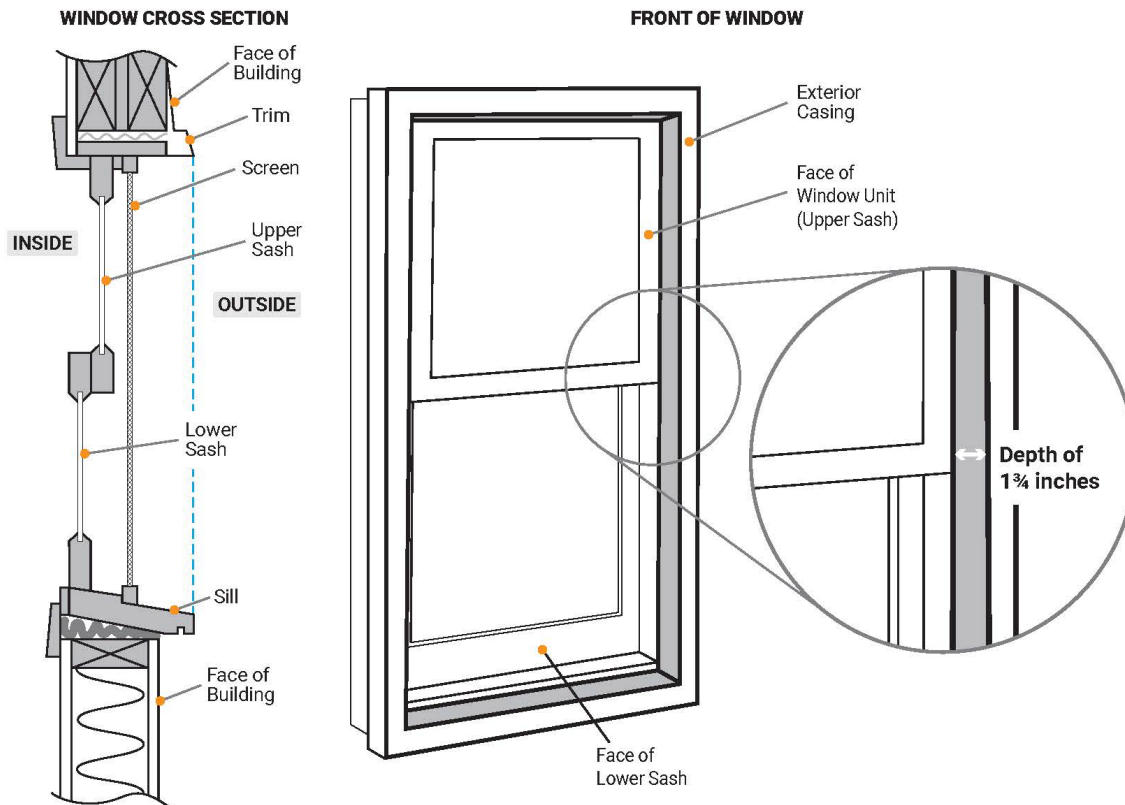
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ATTACHMENT A



Historic Window Standard: New Construction & Replacement



Minimum 1 $\frac{3}{4}$ inch Inset

- Depth from Exterior Casing to the Face of the Window Unit (Upper Sash)
- Windows must be 1-over-1 (equally horizontally divided)
- 1 $\frac{3}{4}$ inch minimum inset for Fixed Window

For more information contact: Houston Office of Preservation

☎ 832-393-6556

✉ historicpreservation@houstontx.gov

City of Houston | Planning and Development | Houston Office of Preservation