



CERTIFICATE OF APPROPRIATENESS

Issued by the Houston Archaeological and Historical Commission

ITEM A1
HPO File #: HP2026_0248

September 10, 2026

1505 Tulane Street
Houston Heights West

Applicant: Justin Patterson, agent for Paul Griffin, owner

Property: 1505 Tulane Street, Lots 16 & 17 Block 145. The property is a 2,192 square foot one-story wood single-family residence situated on a 8,799 square (66'66" x 132') foot corner lot.

Significance: Contributing Craftsman property constructed circa 1930, located in the Houston Heights West Historic District.

Proposal: Alteration – Addition

- The project proposes a two-story rear addition to the existing one-story contributing residence.
- The existing home is 1,299 sq ft; the addition will add 1,881 sq ft of conditioned space.
- The original house will be raised to a finished floor height of 32", and the four corners of the historic footprint will be maintained.
- The new addition will be inset so it does not sit on or overlap the original structure.
- The addition features a 6/12 hipped roof, a 27'-7" ridge height, and a 21'-6" max eave height.
- Exterior cladding on the addition will be horizontal lap Hardie siding with a 5" exposure.
- All new windows on the addition will be wood, inset, and recessed to maintain appropriate depth and shadow lines.
- The south elevation window will be replaced with an appropriately sized wood window that matches the original opening, as shown by the visible ghosting.
- The existing non-original front porch slab and metal columns will be rebuilt with pier-and-beam construction, tongue-and-groove decking, and 8" painted wood columns.

Public Comment: No comment received.

Civic Association: No comment received.

Recommendation: Approval

HAHC Action: -



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APPROVAL CRITERIA

ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS

Sec. 33-241: HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark, (ii) protected landmark, (iii) any building, structure or object that is part of an archaeological site, or (iv) contributing building in a historic district upon finding that the application satisfies the following criteria, as applicable:

S D NA

S - satisfies D - does not satisfy NA - not applicable

- | S | D | NA | |
|-------------------------------------|--------------------------|--------------------------|---|
| ☒ | ☐ | ☐ | (1) The proposed activity must retain and preserve the historical character of the property; |
| ☒ | ☐ | ☐ | (2) The proposed activity must contribute to the continued availability of the property for a contemporary use; |
| ☒ | ☐ | ☐ | (3) The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance; |
| ☒ | ☐ | ☐ | (4) The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment; |
| ☒ | ☐ | ☐ | (5) The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site; |
| ☒ | ☐ | ☐ | (6) New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale; |
| ☒ | ☐ | ☐ | (7) The proposed replacement of exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures; |
| ☒ | ☐ | ☐ | (8) Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site; |
| ☒ | ☐ | ☐ | (9) The proposed design for any exterior alterations or addition must not destroy significant historical, architectural, archaeological or cultural material, including but not limited to siding, windows, doors and porch elements; |
| ☒ | ☐ | ☐ | (10) The proposed alteration or addition must be compatible with the massing, size, scale material and character of the property and the context area; and |
| ☒ | ☐ | ☐ | (11) The distance from the property line to the front and side walls, porches, and exterior features of any proposed addition or alteration must be compatible with the distance to the property line of similar elements of existing contributing structures in the context area. |



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HEIGHTS DESIGN GUIDELINES

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In accordance with Sec. 33-276, the proposed activity must comply with the City Council approved Design Guidelines.

S D NA

S - satisfies D - does not satisfy NA - not applicable

☒ ☐ ☐

Maximum Lot Coverage (Addition and New Construction)

LOT SIZE	MAXIMUM LOT COVERAGE
<4000	.44 (44%)
4000-4999	.44 (44%)
5000-5999	.42 (42%)
6000-6999	.40 (40%)
7000-7999	.38 (38%)
8000+	.38 (38%)

Existing Lot Size: 8,799 SF

Max. Allowed: 3,344 SF

Proposed Lot Coverage: 2,378 SF



☒ ☐ ☐

Maximum Floor Area Ratio (Addition and New Construction)

LOT SIZE	MAXIMUM FAR
<4000	.48
4000-4999	.48
5000-5999	.46
6000-6999	.44
7000-7999	.42
8000+	.40

Existing Lot Size: 8,799 SF

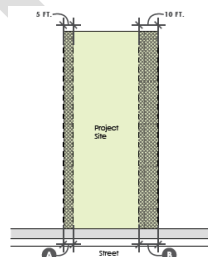
Max. FAR Allowed: 3,520 SF

Proposed FAR: 3,450 SF



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Side Setbacks (Addition and New Construction)



Note: This diagram shows just one example of a side setback configuration.

KEY	MEASUREMENT	APPLICATION
	3 FT.	Minimum distance between side wall and the property line for lots less than 35 feet wide
A	5 FT.	Minimum distance between the side wall and the property line
B	REMAINING	Difference between minimum side setback of 5 feet and minimum cumulative side setback
	6 FT.	Minimum cumulative side setback for lots less than 35 feet wide
C	10 FT.	Minimum cumulative side setback for a one-story house
	15 FT.	Minimum cumulative side setback for a two-story house

Proposed South side setback (1): 20', Proposed North side setback (2): 7'

Cumulative side setback: 27'



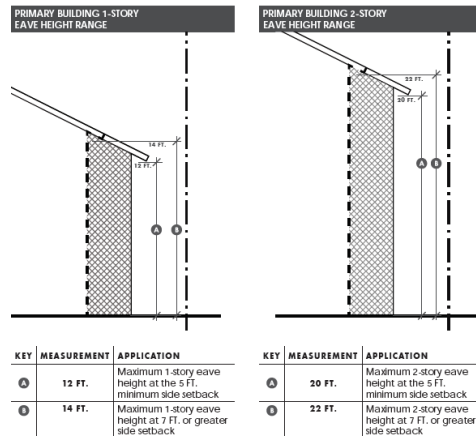
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Eave Height (Addition and New Construction)



Proposed eave height: 21'-6"

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Building Wall (Plate) Height (Addition and New Construction)

MEASUREMENT	APPLICATION
36 IN.	Maximum finished floor height (as measured at the front of the structure)
10 FT.	Maximum first floor plate height
9 FT.	Maximum second floor plate height

Proposed finished floor: 32"

Proposed first floor plate height: 10'

Proposed second floor plate height: 8'

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Rear Setbacks (Addition and New Construction)

The City of Houston requires a minimum setback of three feet from the rear property line for all properties, except under the following circumstances:

- A front-facing garage which is located with its rear wall at the alley may have a zero-foot setback.
- An alley-loading garage generally must be located to establish a minimum of 20 feet of clearance from an opposing alley-loading garage door, the rear wall of a front-facing garage, or a fence; a 24-foot clearance is preferred.



Proposed rear setback: 24' at least



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Side Wall Length and Insets (Addition and New Construction)

MEASUREMENT	APPLICATION
50 FT.	Maximum side wall length without inset (1-story)
40 FT.	Maximum side wall length without inset (2-story)
1 FT.	Minimum depth of inset section of side wall (1-story)
2 FT.	Minimum depth of inset section of side wall (2-story)
6 FT.	Minimum length of inset section of side wall

North Side Wall Length: 39'-6 1/2"
Inset depth on South side: 2'

North Side Wall Length: 35'-11"
Inset depth on North side: 2'
Inset width on North side: 18'



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DISTRICT MAP



Houston Heights West Historic District

Historic District Boundary

Building Classification

- Contributing
- Non-Contributing
- Park

Established: December 19, 2007

Source: GIS Services Division

Date: May 1, 2013

Reference: p17025_Heights_West

This map is made available for reference purposes only and should not be substituted for a survey product. The City of Houston will not accept liability of any kind in conjunction with its use.



PLANNING &
DEVELOPMENT
DEPARTMENT



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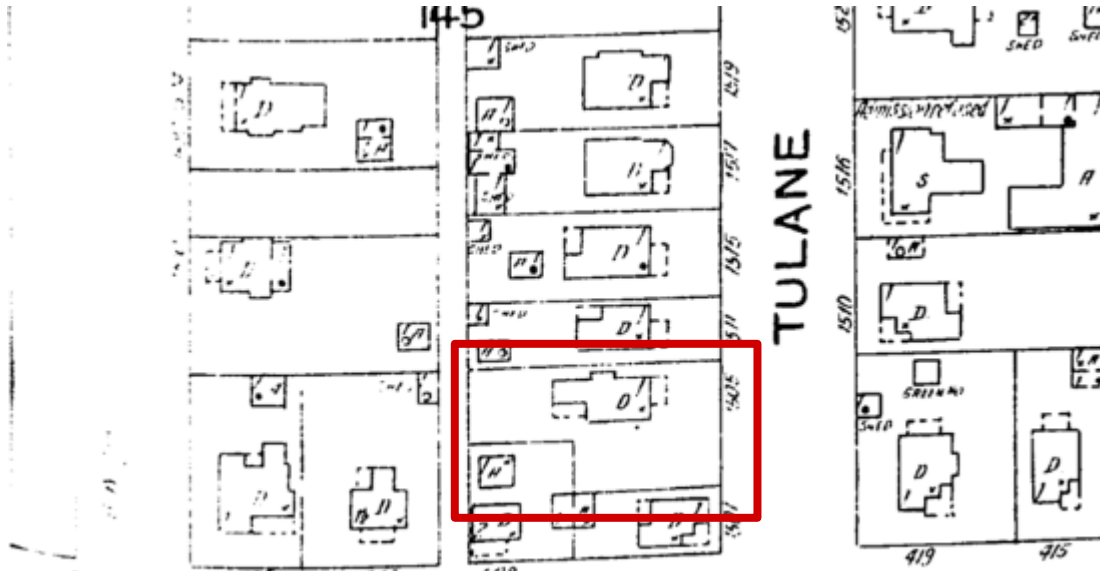
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SANBORN-1924-1950, VOL.7, 1925



BLA- 1937

Map No. _____ Addition <u>Houston Hts.</u>	
Block <u>145</u>	Lot <u>16-17</u>
OWNER <u>Bond, J. F.</u>	
ADDRESS <u>1505 Tulane</u>	
TYPE OF PROPERTY <u>Res</u>	OCCUPIED VACANT
BASEMENT, Whole Part	FLOORING, Pine, Hardwood, Cement, Tile, Marble, Dirt
FOUNDATION, Concrete, Stone, Brick, Piers, <u>Piers</u>	INTERIOR TRIM, Plaster, Hardwood, Marble, Metal, Built-in Features
WALLS, Brick, Stone, Hollow Tile, Stucco, Metal, Concrete Blocks, Box Weatherboard	HEATING, Furnace, Stoves, Fireplace, Chimneys, Gas
ROOF CONS., Concrete, Steel, Wood Truss	LIGHTING, Electricity
ROOF, Hip, Gable, Mansard, Flat	PLUMBING, Sewer, Water, Baths
ROOFING, Composition, Metal, Slate, Wood, Shingles, Tile, Asbestos	ELEVATORS
EXTERIOR TRIM, Stone, Terra Cotta, Metal, Wood, Marble, Granite	CONDITION, Good, Fair, Bad, Obsolete
PERMIT DATE <u>3/1/37</u> NO. <u>137</u> AMT. <u>?</u>	

IMPROVEMENTS			
No. Sq. Ft.	Price Per Sq. Ft.		
<u>1250</u>	<u>190</u>	\$ <u>2390</u>	
	Percent Good	<u>70</u>	<u>1660</u>
	Other Bldgs.	<u>(1)</u>	<u>1110</u>
	Total All Bldgs.	<u>1770</u>	
LAND VALUE			
Front x Depth	Unit Value	Factor	Front Ft. Value - \$
<u>66.7 x 13</u>	<u>9</u>	<u>113</u>	<u>680</u>
TOTAL			
<u>370 - 440</u>			



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INVENTORY PHOTO

CURRENT PHOTO (APPLICANT)



DRAFT



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CURRENT PHOTOS (APPLICANT)





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EXISTING PHOTOS FOR WINDOW ON SOUTH ELEVATION



Figure 1-The existing window opening shows ghosting that indicates the original window's size and configuration, meaning the outline of the historic frame is still visible and the current unit does not match the original dimensions.



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CONTEXT AREA



1501 Tulane Street– Contributing – 2 STY

1511 Tulane Street– Contributing – 2 STY



1515 Tulane Street – Contributing – 2 STY



1530 Ashland Street – Contributing – 2 STY





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3D VIEWS

PROPOSED





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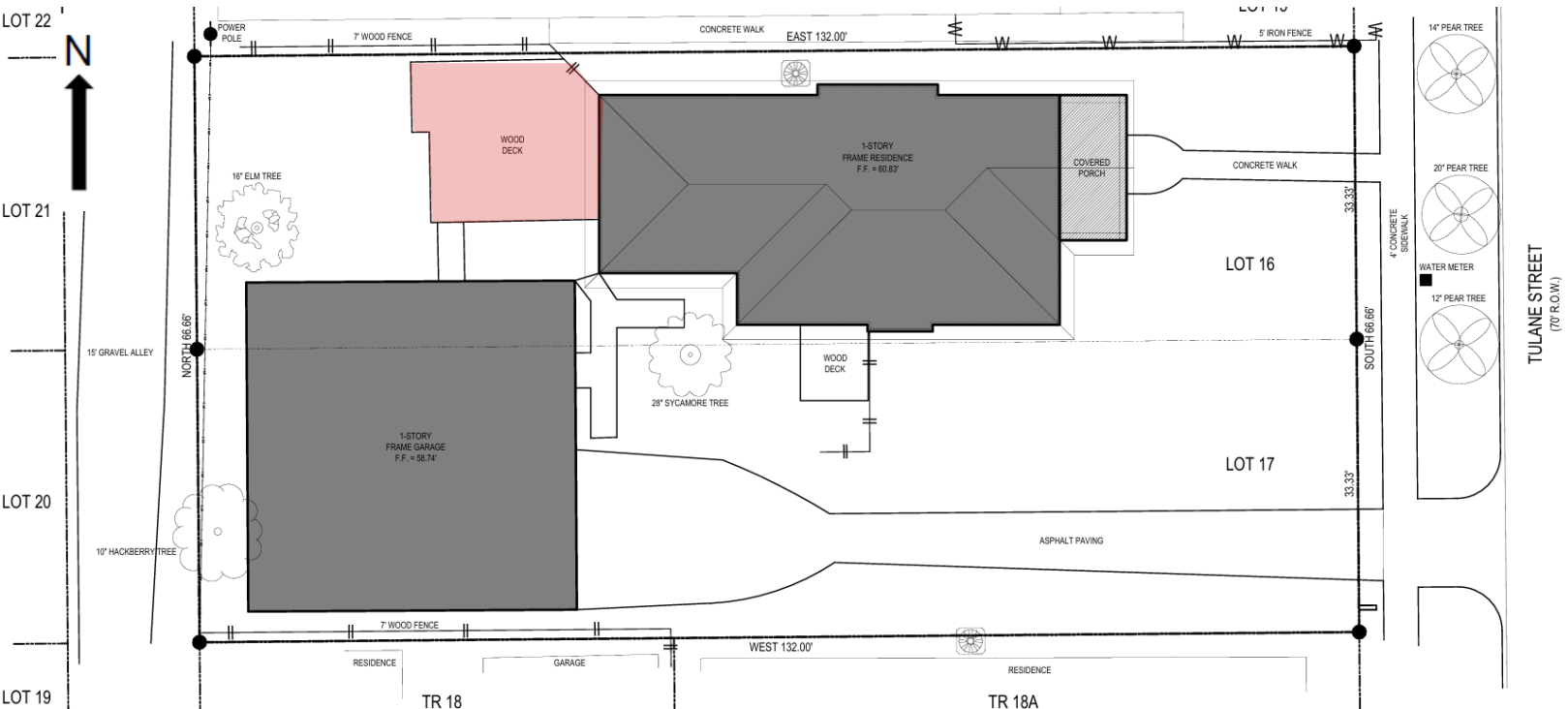
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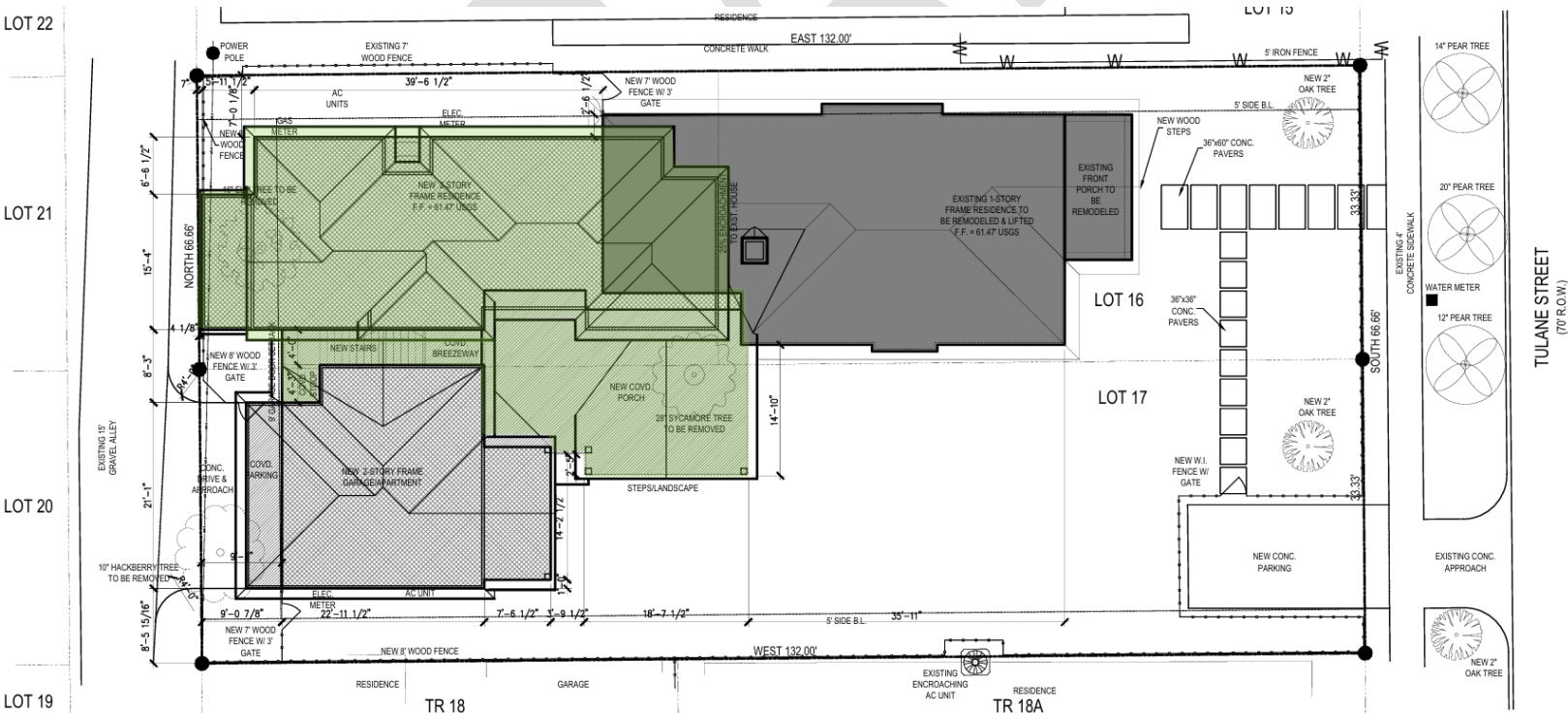
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SITE PLAN



EXISTING



PROPOSED



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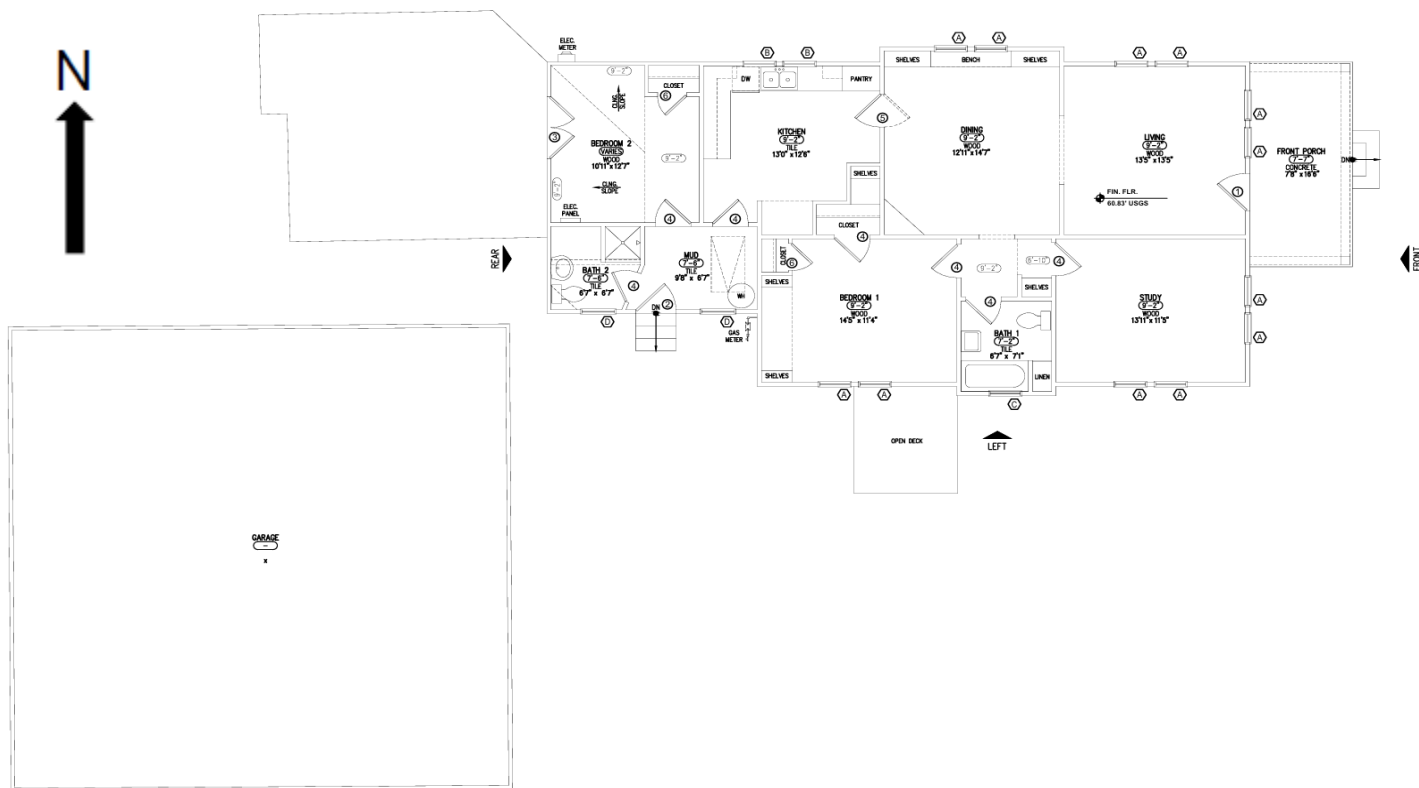
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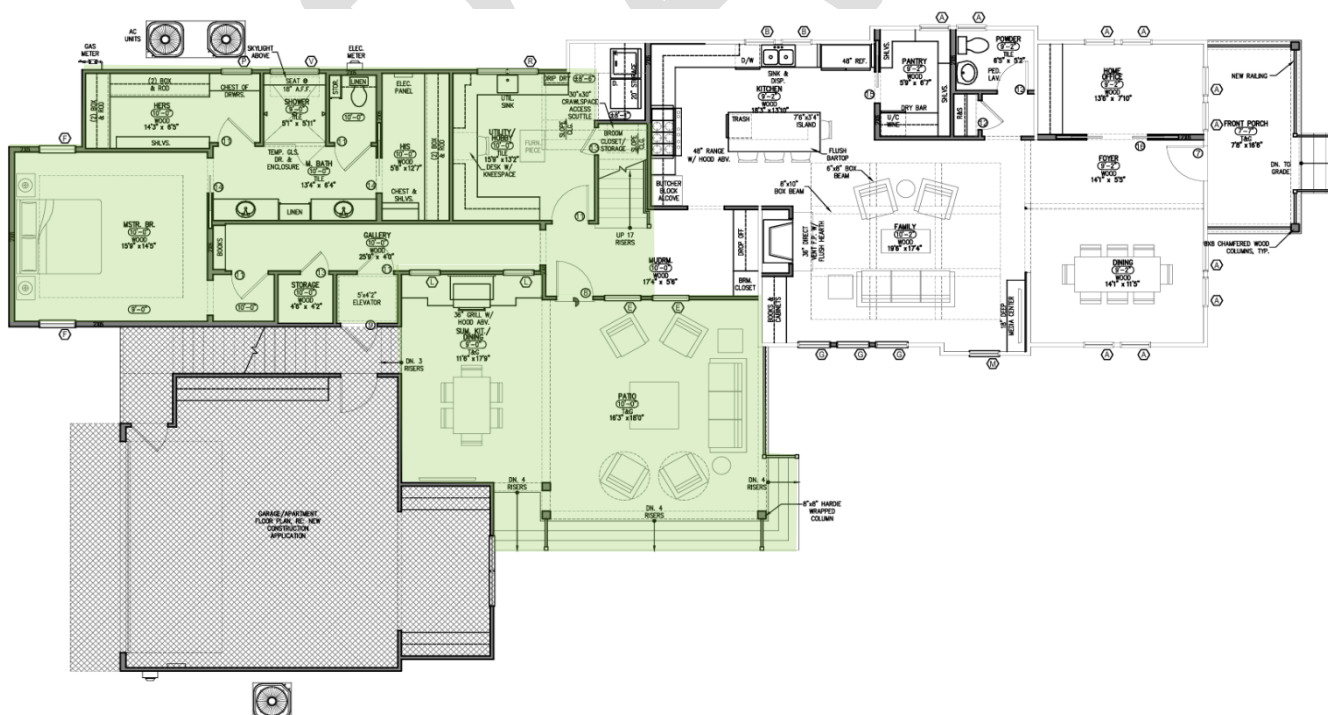
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FIRST FLOOR PLAN



EXISTING



PROPOSED



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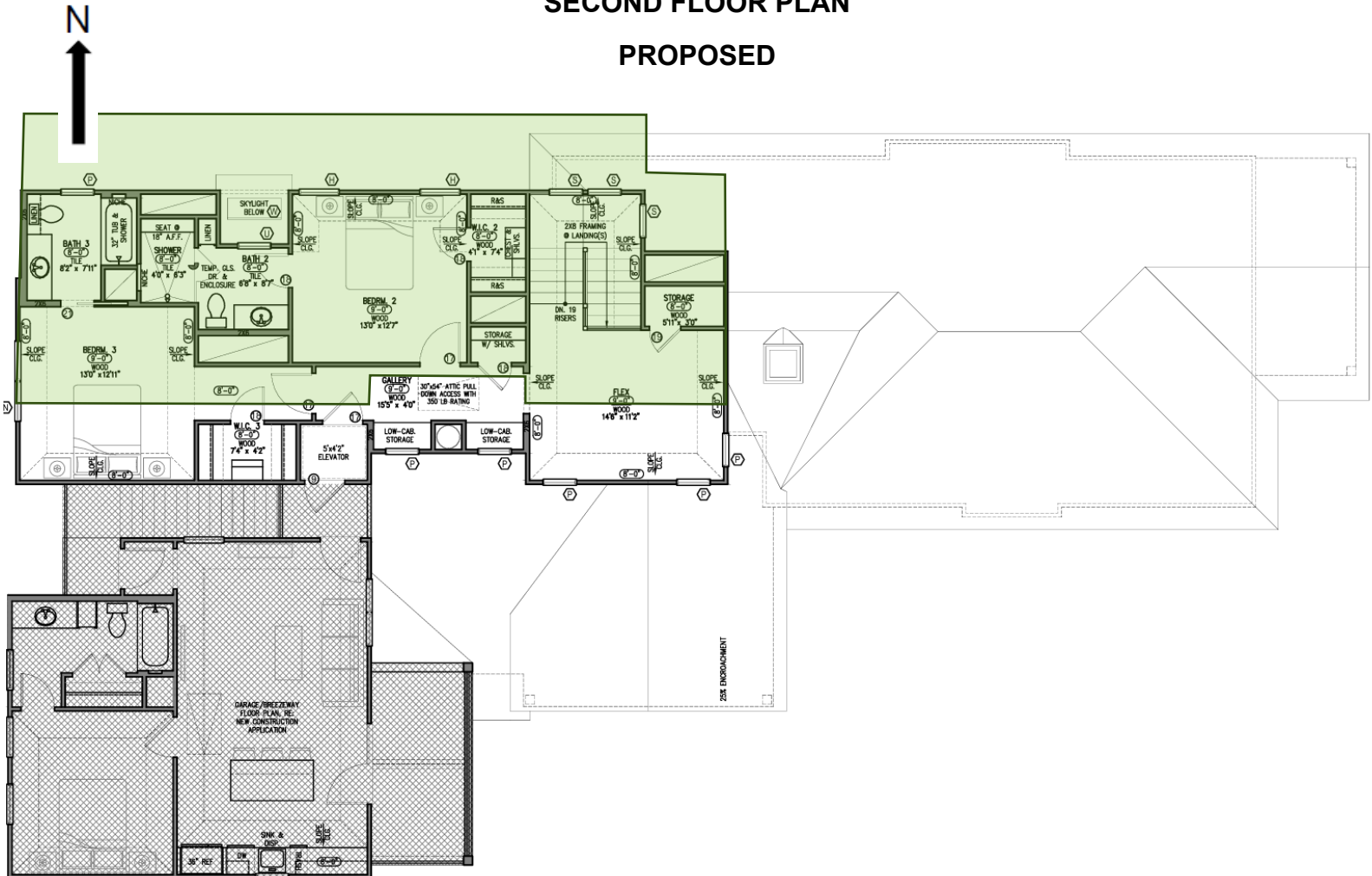
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SECOND FLOOR PLAN

PROPOSED





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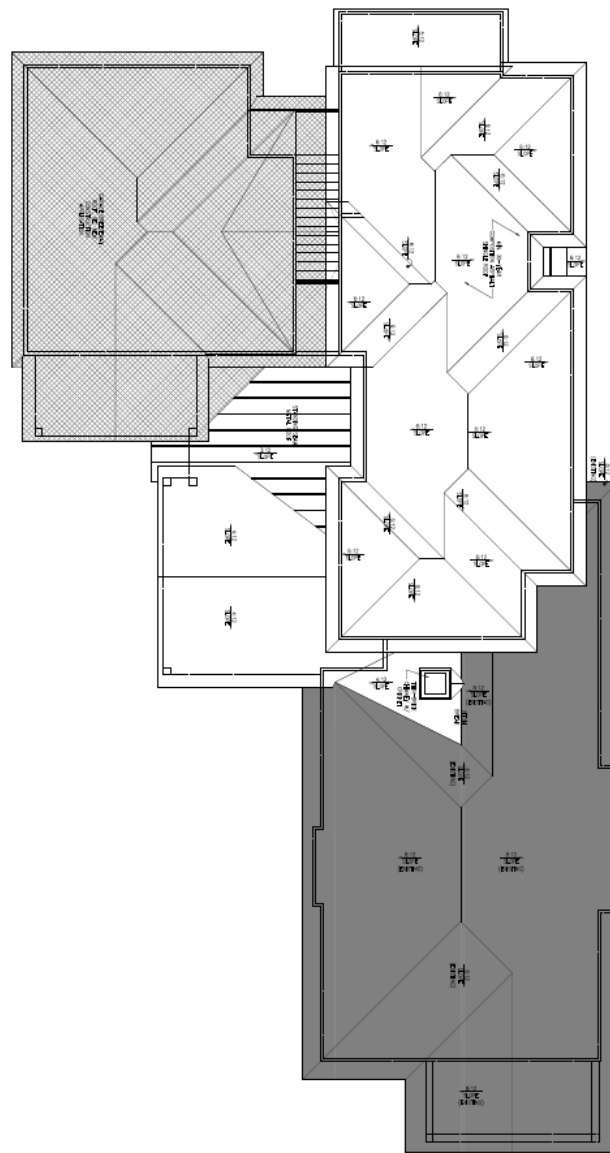
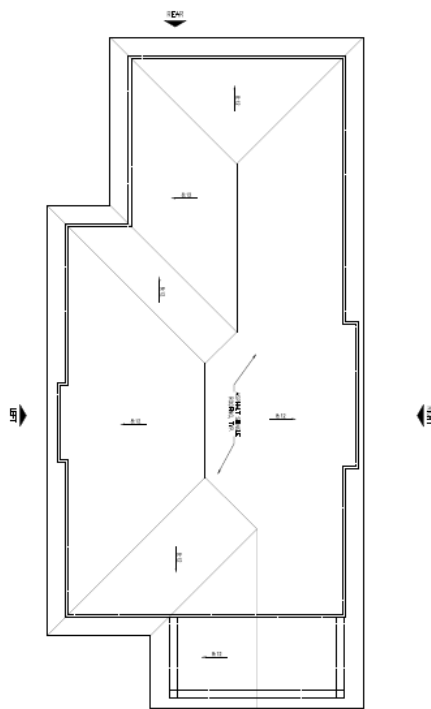
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EXISTING

ROOF PLAN

PROPOSED





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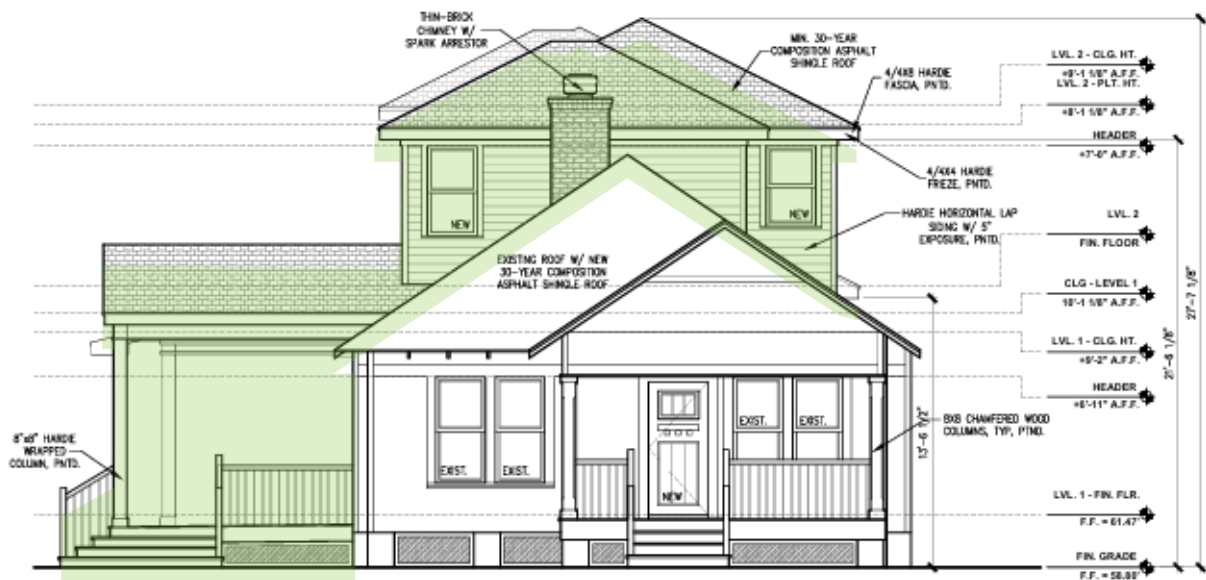
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FRONT (EAST) ELEVATION



EXISTING EAST ELEVATION



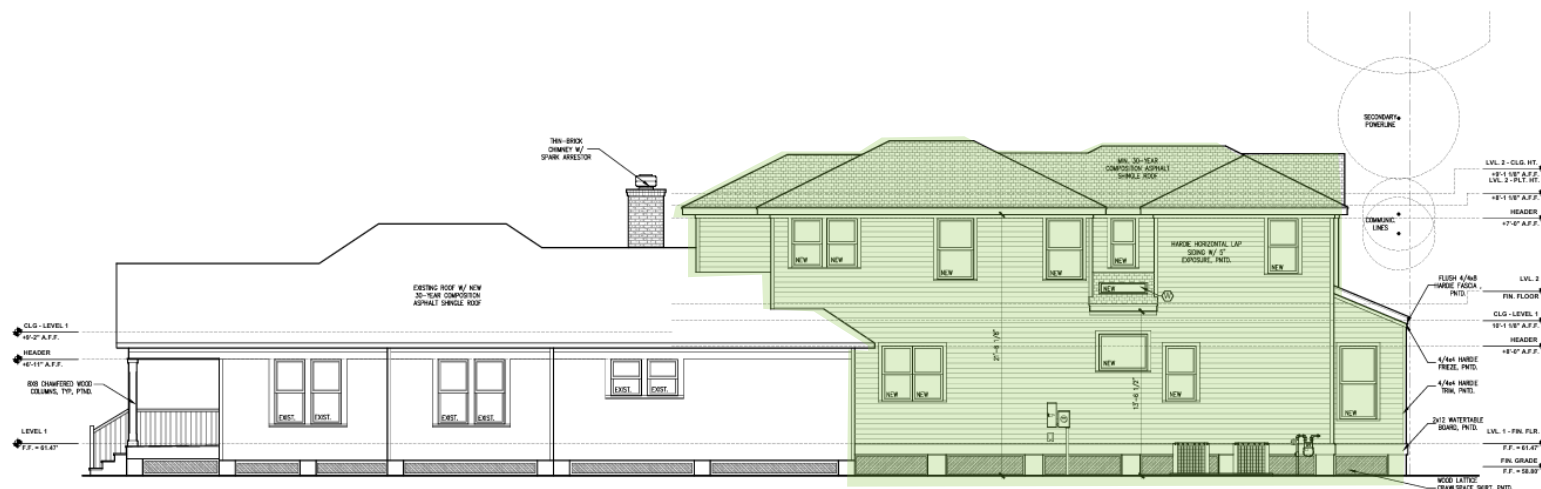
PROPOSED EAST ELEVATION



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EXISTING NORTH ELEVATION



PROPOSED NORTH ELEVATION



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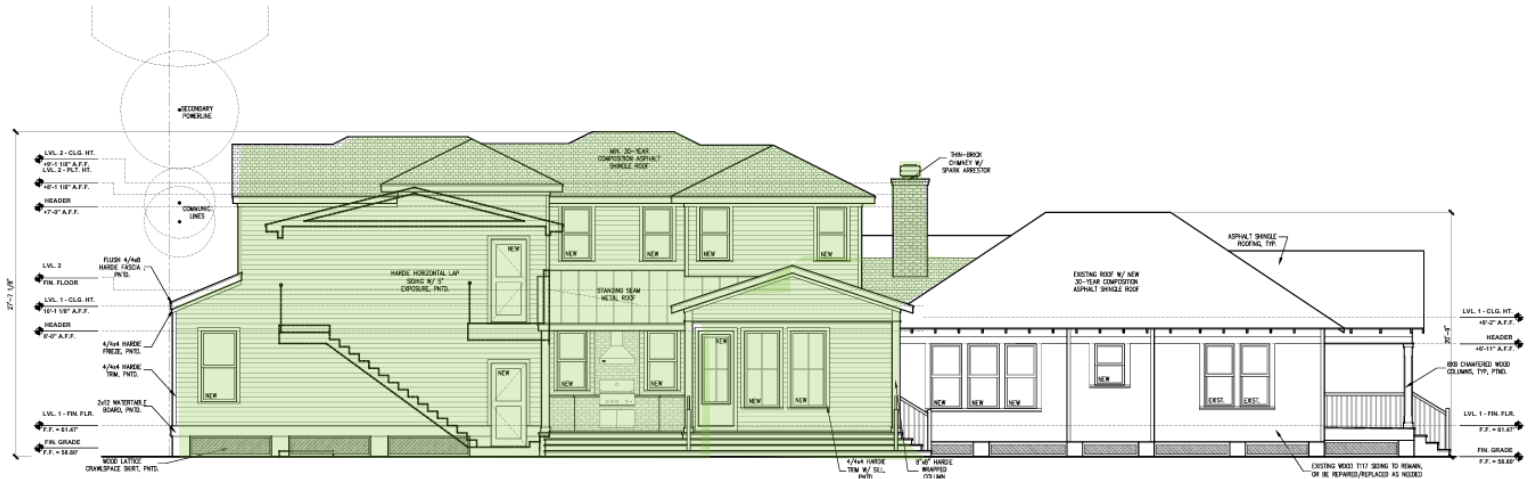
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LEFT (SOUTH) ELEVATION



EXISTING SOUTH ELEVATION



PROPOSED SOUTH ELEVATION



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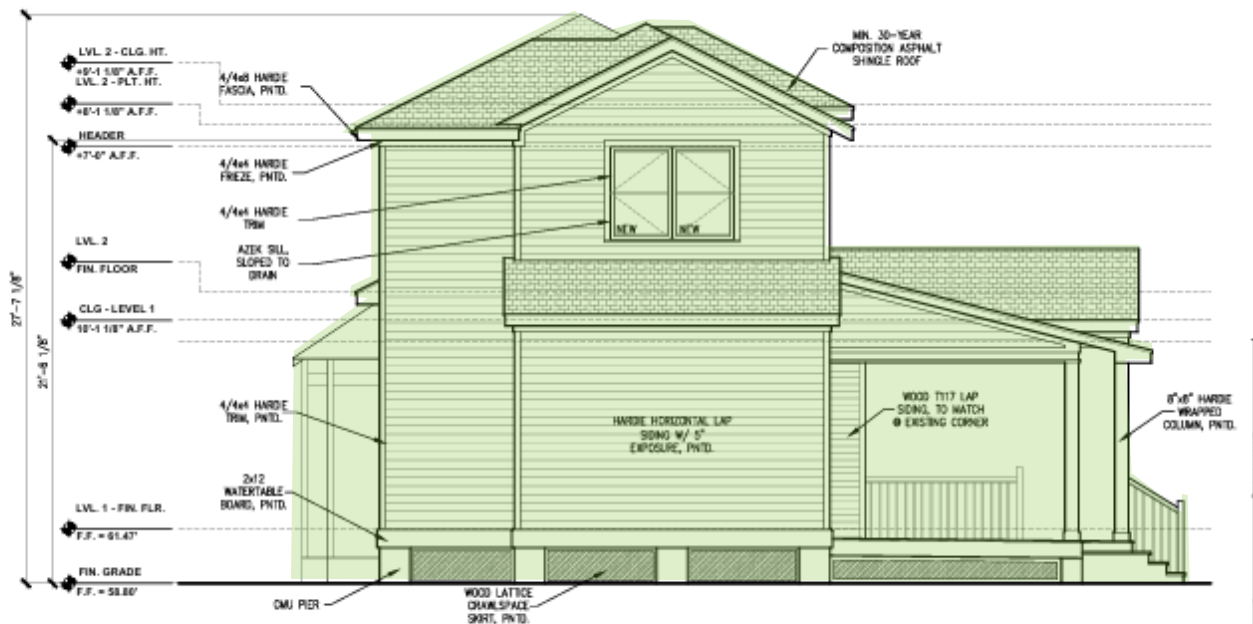
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REAR (WEST) ELEVATION



EXISTING WEST ELEVATION



PROPOSED WEST ELEVATION



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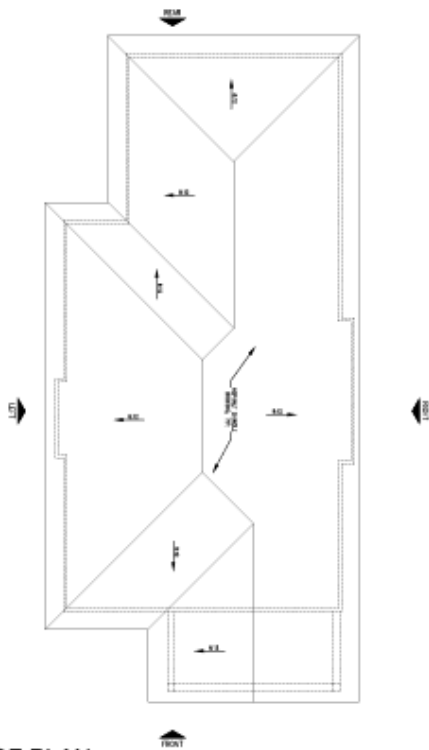
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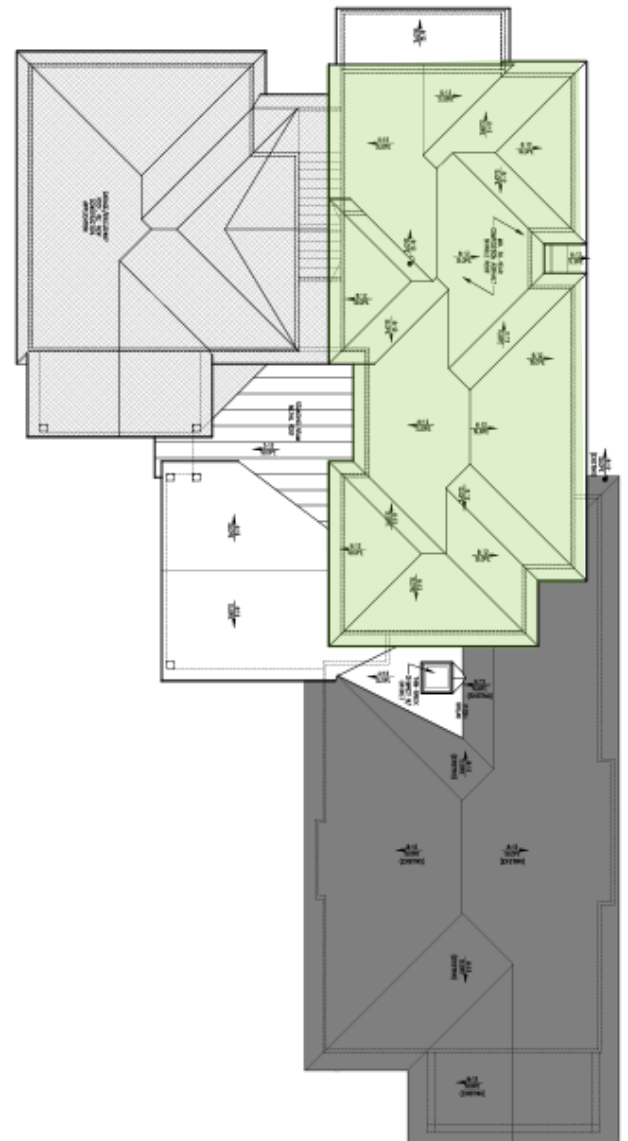
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ROOF PLAN



EXISTING ROOF PLAN



PROPOSED ROOF PLAN

DATE: 9/10/26



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DOOR AND WINDOW SCHEDULE

MAIN HOUSE

WINDOW SCHEDULE

MARK	QTY	WIDTH	HEIGHT	TYPE	WALL	DESCRIPTION
(A)	12	2'-6"	5'-4"	SINGLE HUNG	2x4	LIVING, STUDY, DINING, BEDROOM 1
(B)	2	2'-6"	3'-0"	SINGLE HUNG	2x4	KITCHEN
(C)	1	2'-6"	1'-6"	TRANSOM	2x4	BATH 1
(D)	2	2'-8"	4'-2"	SINGLE HUNG	2x4	MUDROOM, BATH 2

DOOR SCHEDULE

MARK	QTY	WIDTH	HEIGHT	TYPE	WALL	DESCRIPTION
(1)	1	3'-0"	6'-8"	EXTERIOR	2X4	LIVING
(2)	1	3'-0"	6'-8"	EXTERIOR	2X4	MUDROOM
(3)	1	(2)2'-6"	6'-8"	EXTERIOR	2X4	BEDROOM 2
(4)	7	2'-8"	6'-8"	INTERIOR	2X4	STUDY, BEDROOM 1, BATH 1, KITCHEN, BEDROOM 2, BATH 2
(5)	1	2'-8"	6'-8"	INTERIOR	2X4	SWING - KITCHEN
(6)	2	2'-2"	6'-8"	INTERIOR	2X4	BEDROOM 1, BEDROOM 2

MAIN HOUSE

PROPOSED WINDOW SCHEDULE

MARK	QTY	WIDTH	HEIGHT	TYPE	WALL	DESCRIPTION
(A)	12	2'-6"	5'-4"	SINGLE HUNG	2x4	LIVING, STUDY, DINING, BEDROOM 1 (2 TO BE REMOVED)
(B)	2	2'-6"	3'-0"	SINGLE HUNG	2x4	KITCHEN
(C)	1	2'-6"	1'-6"	TRANSOM	2x4	BATH 1 (TO BE REMOVED)
(D)	2	2'-8"	4'-2"	SINGLE HUNG	2x4	MUDROOM (TO BE REMOVED), BATH 2 (TO BE REMOVED)
(E)	2	3'-0"	6'-6"	FIXED	2x4	MUDROOM
(F)	2	3'-0"	6'-0"	SINGLE HUNG	2x6	MASTER BEDROOM
(G)	3	2'-8"	5'-6"	SINGLE HUNG	2x4	FAMILY
(H)	2	3'-0"	5'-0"	SINGLE HUNG	2x4	BEDROOM 2
(I)	2	2'-6"	5'-0"	SINGLE HUNG	2x4	GALLERY
(M)	1	2'-6"	3'-6"	SINGLE HUNG	2x4	FAMILY
(N)	1	(2)3'-0"	4'-6"	CASEMENT	2x4	BEDROOM 3
(P)	7	2'-8"	4'-6"	SINGLE HUNG	2x4	HER CLOSET, FLEX, GALLERY, BATH 3
(R)	1	(2)2'-8"	4'-6"	SINGLE HUNG	2x4	UTILITY/HOBBY
(S)	3	2'-8"	4'-0"	SINGLE HUNG	2x4	STAIRS
(U)	1	2'-0"	4'-0"	SINGLE HUNG	2x4	BATH 2
(V)	1	4'-0"	3'-0"	TRANSOM	2x4	MASTER BATH
(W)	1	4'-0"	2'-0"	FIXED	2x4	SKYLIGHT - MASTER BATH

DOOR SCHEDULE

MARK	QTY	WIDTH	HEIGHT	TYPE	WALL	DESCRIPTION
(1)	1	3'-0"	6'-8"	EXTERIOR	2X4	LIVING (TO BE REMOVED)
(2)	1	3'-0"	6'-8"	EXTERIOR	2X4	MUDROOM (TO BE REMOVED)
(3)	1	(2)2'-6"	6'-8"	EXTERIOR	2X4	BEDROOM 2 (TO BE REMOVED)
(4)	7	2'-8"	6'-8"	INTERIOR	2X4	STUDY (TO BE REMOVED), BEDROOM 1 (TO BE REMOVED), BATH 1 (TO BE REMOVED), KITCHEN (TO BE REMOVED), BEDROOM 2 (TO BE REMOVED), BATH 2 (TO BE REMOVED)
(5)	1	2'-8"	6'-8"	INTERIOR	2X4	SWING - KITCHEN (TO BE REMOVED)
(6)	2	2'-2"	6'-8"	INTERIOR	2X4	BEDROOM 1 (TO BE REMOVED), BEDROOM 2 (TO BE REMOVED)
(7)	1	3'-0"	6'-8"	EXTERIOR	2X4	FOYER
(8)	1	3'-0"	8'-0"	EXTERIOR	2X4	MUDROOM
(9)	2	3'-0"	6'-8"	EXTERIOR	2X4	ELEVATOR
(11)	5	3'-0"	8'-0"	INTERIOR	2X4	UTILITY/HOBBY, ELEVATOR, GALLERY, MASTER BATH
(12)	2	2'-6"	8'-0"	INTERIOR	2X4	POWDER, FAMILY
(13)	2	2'-4"	8'-0"	INTERIOR	2X4	BROOM CLOSET, STORAGE
(14)	2	3'-0"	8'-0"	INTERIOR	2X6	POCKET - MASTER BATH, HIS CLOSET
(15)	1	2'-8"	8'-0"	INTERIOR	2X6	POCKET - PANTRY
(16)	1	(2)2'-6"	8'-0"	INTERIOR	2X6	POCKET - HOME OFFICE
(17)	3	3'-0"	6'-8"	INTERIOR	2X4	GALLERY, BEDROOM 2, BEDROOM 3
(18)	4	2'-6"	6'-8"	INTERIOR	2X4	GALLERY, BATH 2, W.I.C. 2, W.I.C. 3
(19)	1	2'-4"	6'-8"	INTERIOR	2X4	STORAGE
(21)	1	2'-6"	6'-8"	INTERIOR	2X4	POCKET - BATH 3



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AREA CALCULATIONS

CALCULATIONS OF FLOOR AREA RATIO	
FIRST AND SECOND FLOOR	3,180 SQ. FT.
DETACHED GARAGE (OVER 528 SQ. FT.)	149 SQ. FT.
DETACHED GARAGE APT. (OVER 528 SQ. FT.)	121 SQ. FT.
TOTAL FLOOR AREA	3,450 SQ. FT.
LOT AREA	8,799 SQ. FT.
F.A.R. RATIO (40% MAXIMUM)	39.21%

CALCULATIONS OF LOT COVERAGE – HEIGHTS	
FIRST FLOOR	2,229 SQ. FT.
DETACHED GARAGE (OVER 528 SQ. FT.)	149 SQ. FT.
TOTAL LOT COVERAGE	2,378 SQ. FT.
LOT AREA	8,799 SQ. FT.
MAX. LOT COVG. RATIO (38% MAXIMUM)	27.03%

CALCULATIONS OF IMPERVIOUS COVERAGE – COH	
HOUSE & GARAGE	2,906 SQ. FT.
PORCHES, BREEZEWAY, & COVD. PARKING	874 SQ. FT.
STEPS, DRIVEWAY & SIDEWALK(S)	673 SQ. FT.
TOTAL IMPERVIOUS COVERED	4,453 SQ. FT.
LOT AREA	8,799 SQ. FT.
PERCENTAGE OF IMPERVIOUS AREA (70% MAXIMUM)	50.61%



ITEM A1
HPO File #: HP2026_0248

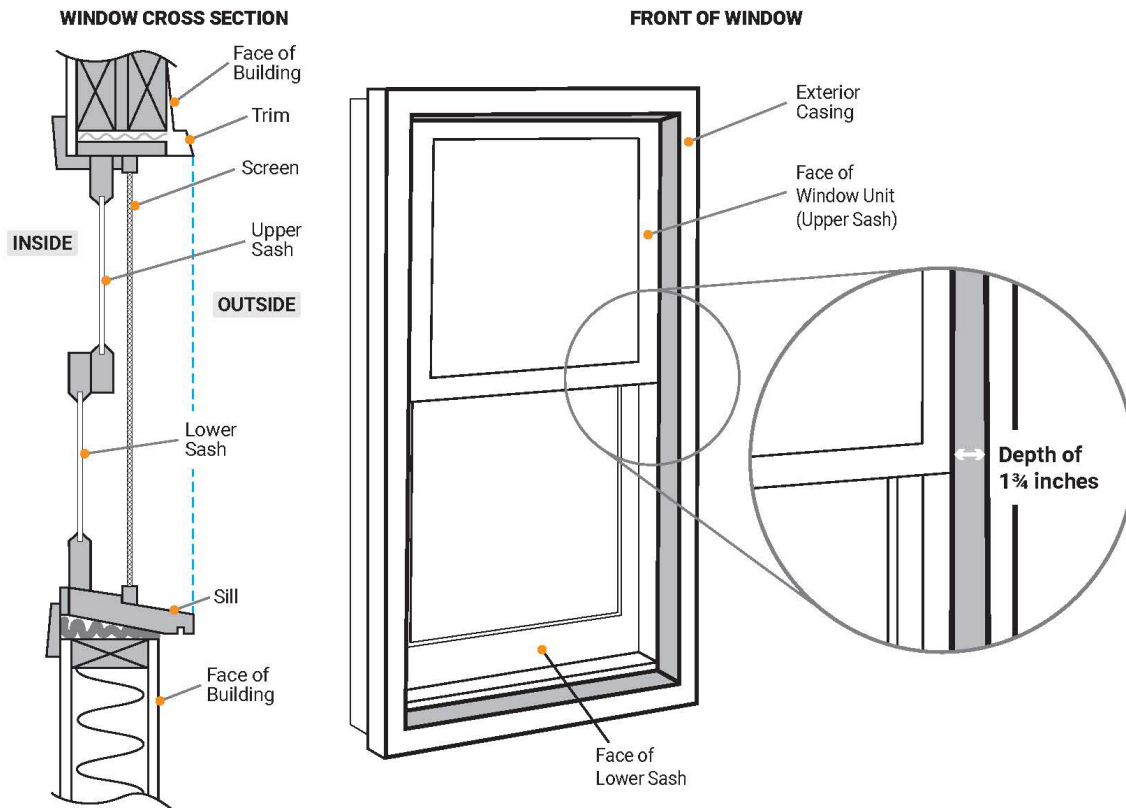
September 10, 2026

1505 Tulane Street
Houston Heights West

ATTACHMENT A:



Historic Window Standard: New Construction & Replacement



Minimum 1 3/4 inch Inset

- Depth from Exterior Casing to the Face of the Window Unit (Upper Sash)
- Windows must be 1-over-1 (equally horizontally divided)
- 1 3/4 inch minimum inset for Fixed Window

For more information contact: Houston Office of Preservation

832-393-6556

historicpreservation@houstontx.gov