



ITEM B7
HPO File #: HP2026-0154

May 21, 2026

805 Cortlandt Street
Houston Heights South

Applicant: Alberto Vaca, McIntyre + Robinowitz ARCHITECTS, agent for Lathan Henderson, owner

Property: 805 Cortlandt Street, Lot 11, Block 248, Houston Heights Neighborhood Subdivision. The property includes a 1,531 SF, one-story wood single-family residence situated on a 6,600 SF (50' x 132') interior lot.

Significance: Contributing Hipped Bungalow style residence, constructed circa 1915, located in the Houston Heights South Historic District.

Proposal: **New Construction- Garage**, the applicant is proposing the following:

- The proposed project consists of a two-story garage apartment located at the rear of an existing one-story wood-siding, wood-frame house. The garage will include a 528 sq. ft. first-floor garage and a 462 sq. ft. second-floor garage apartment. The structure will be connected to the main house by an unconditioned breezeway at the first floor and a balcony at the second floor.
- The exterior will be clad in painted fiber-cement lap siding with 6-inch and 2-inch exposures, with cellular PVC trim. Proposed eaves will feature exposed rafter tails to match the existing house, and the roof will be finished with composition shingles.
- All proposed new windows will be wood, inset and recessed.

Public Comment: No comment received

Civic Association: No comment received

Recommendation: Approval

HAHC Action: -



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APPROVAL CRITERIA

NEW CONSTRUCTION IN A HISTORIC DISTRICT

Sec. 33-242(a): HAHC shall issue a certificate of appropriateness for new construction in a historic district upon finding that the application satisfies the following criteria:

S D NA S - satisfies D - does not satisfy NA - not applicable

[X] [] [] (1) The distance from the property line of the front and side walls, porches, and exterior features of any proposed new construction must be compatible with the distance from the property line of similar elements of existing contributing structures in the context area;

[X] [] [] (2) The exterior features of the new construction must be compatible with the exterior features of existing contributing structures in the context area;

[X] [] [] (3) The scale and proportions of the new construction, including the relationship of the width and roofline, overall height, eave height, foundation height, porch height, roof shape, and roof pitch, and other dimensions to each other, must be compatible with the typical scale and proportions of existing contributing structures in the context area unless special circumstances, such as an atypical use, location, or lot size, warrant an atypical scale and proportions;

[X] [] [] (4) The height of the new construction must not be taller than the typical height of existing contributing structures in the context area unless special circumstances, such as an atypical use, location, or lot size, warrant an atypical height, except that;

(a) Design guidelines for an individual historic district may provide that a new construction with two stories maybe be constructed in a context area with only one-story contributing structures as long as the first story of the new construction has proportions compatible with the contributing structures in the context area, and the second story has similar proportions to the first story; and

(b) A new construction shall not be constructed with more than one story in a historic district that is comprised entirely of one-story contributing structures, except as provided for in design guidelines for an individual historic district.

HEIGHTS DESIGN GUIDELINES

[X] [] [] In accordance with Sec. 33-276, the proposed activity must comply with the City Council approved Design Guidelines.



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HEIGHTS DESIGN GUIDELINES MEASURABLE STANDARDS

S D NA S - satisfies D - does not satisfy NA - not applicable

Maximum Lot Coverage (Addition and New Construction)

LOT SIZE	MAXIMUM LOT COVERAGE
<4000	.44 (44%)
4000-4999	.44 (44%)
5000-5999	.42 (42%)
6000-6999	.40 (40%)
7000-7999	.38 (38%)
8000+	.38 (38%)

Existing Lot Size: 6,600

Max. Allowed: 2,640

Proposed Lot Coverage: 1,955

Remaining Amount: 685

Maximum Floor Area Ratio (Addition and New Construction)

LOT SIZE	MAXIMUM FAR
<4000	.48
4000-4999	.48
5000-5999	.46
6000-6999	.44
7000-7999	.42
8000+	.40

Existing Lot Size: 6,600

Max. FAR Allowed: 2,904

Proposed FAR: 2,641

Remaining Amount: 263



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☑ ☐ ☐

Side Wall Length and Insets (Addition and New Construction)

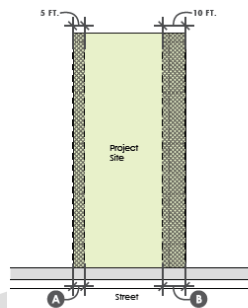
Table with 2 columns: MEASUREMENT and APPLICATION. Rows include 50 FT., 40 FT., 1 FT., 2 FT., and 6 FT. with their respective application descriptions.

Max Side Wall Length: 38'-11"

Inset depth: 2'-1"

☑ ☐ ☐

Side Setbacks (Addition and New Construction)



Note: This diagram shows just one example of a side setback configuration.

Table with 3 columns: KEY, MEASUREMENT, APPLICATION. Rows include 3 FT., 5 FT., REMAINING, 6 FT., 10 FT., and 15 FT. with their respective application descriptions.

Proposed side setback (1): 5'-3"

Proposed side setback (2): 27'-1/2"

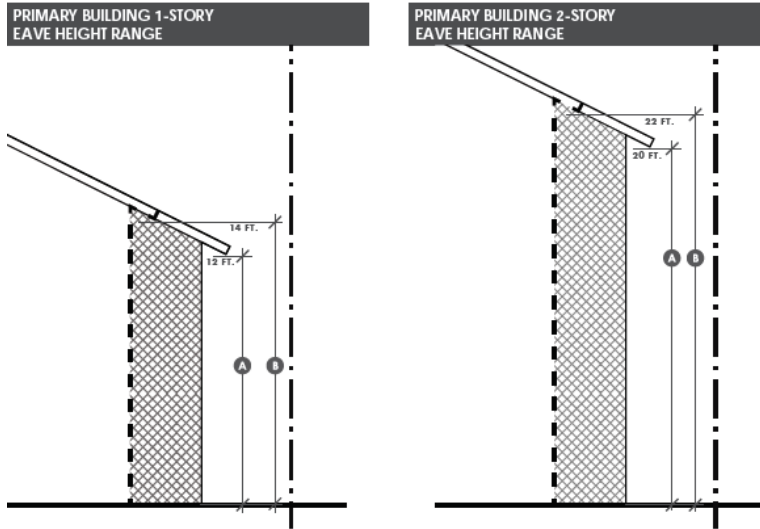


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Eave Height (Addition and New Construction)



KEY	MEASUREMENT	APPLICATION
A	12 FT.	Maximum 1-story eave height at the 5 FT. minimum side setback
B	14 FT.	Maximum 1-story eave height at 7 FT. or greater side setback

KEY	MEASUREMENT	APPLICATION
A	20 FT.	Maximum 2-story eave height at the 5 FT. minimum side setback
B	22 FT.	Maximum 2-story eave height at 7 FT. or greater side setback

Proposed eave height: 19'8 1/2"

Rear Setbacks (Addition and New Construction)

The City of Houston requires a minimum setback of three feet from the rear property line for all properties, except under the following circumstances:

- A front-facing garage which is located with its rear wall at the alley may have a zero-foot setback.
- An alley-loading garage generally must be located to establish a minimum of 20 feet of clearance from an opposing alley-loading garage door, the rear wall of a front-facing garage, or a fence; a 24-foot clearance is preferred.

Proposed rear setback: 24' at least



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- Three checkboxes: the first is checked, the other two are empty.

Building Wall (Plate) Height (Addition and New Construction)

Table with 2 columns: MEASUREMENT and APPLICATION. Rows include 36 IN. (Maximum finished floor height), 10 FT. (Maximum first floor plate height), and 9 FT. (Maximum second floor plate height).

Proposed finished floor: 36"
Proposed first floor plate height: 10'
Proposed second floor plate height: 9'

- Three checkboxes: the first is checked, the other two are empty.

Detached Garage Ridge Height (New Construction)

Diagrams and tables for Garage Ridge Height. Includes 'GARAGE 1-STORY RIDGE HEIGHT' and 'GARAGE 2-STORY RIDGE HEIGHT' diagrams. Below each diagram is a table with columns: KEY, MEASUREMENT, APPLICATION. Key 'A' is used for both diagrams.

Proposed ridge height: 25'-6 1/2"



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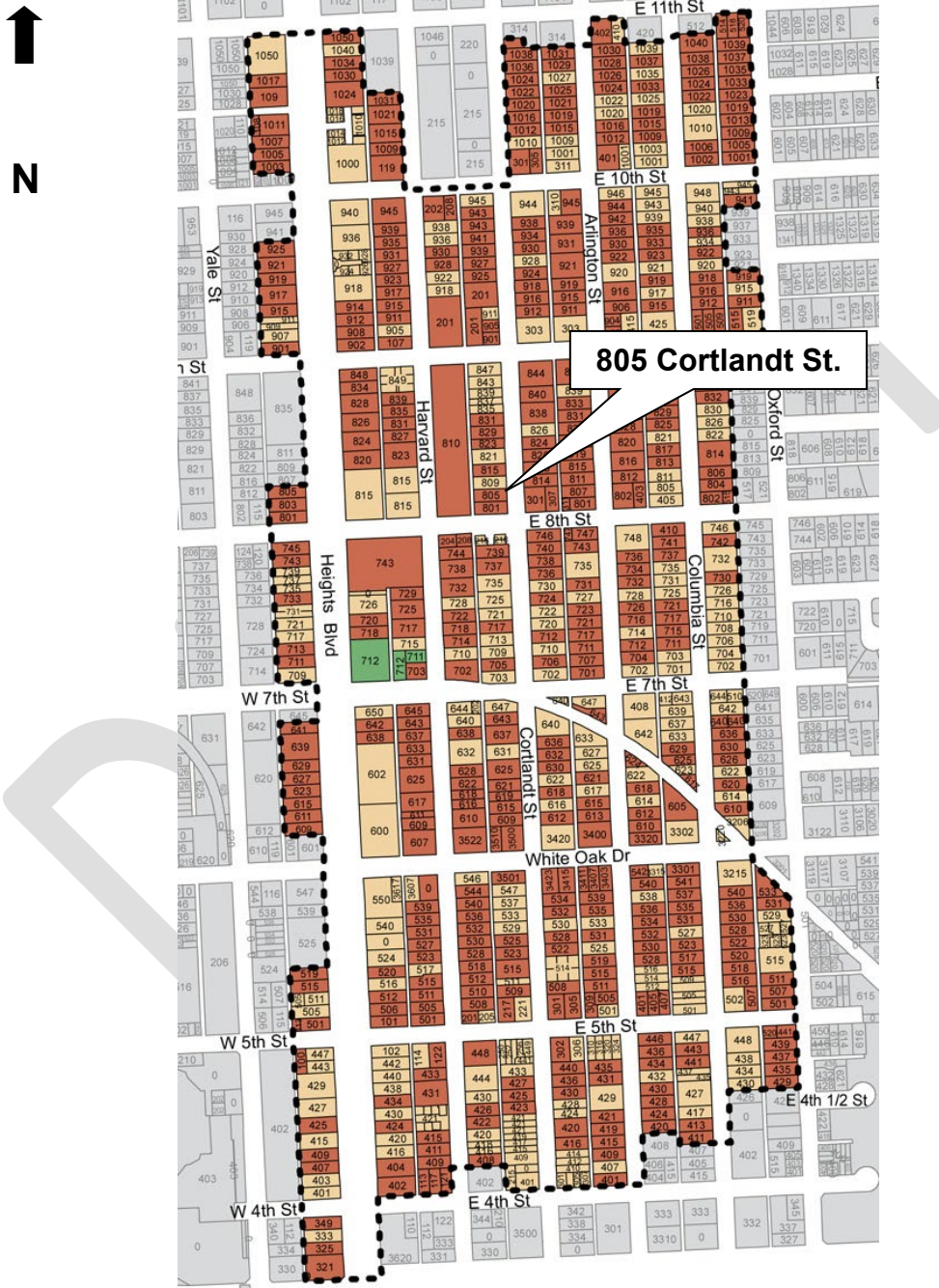
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PROPERTY LOCATION

HOUSTON HEIGHTS SOUTH HISTORIC DISTRICT





CERTIFICATE OF APPROPRIATENESS

Reviewed by the Houston Archaeological and Historical Commission

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INVENTORY PHOTO





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805 Cortlandt Street
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EXISTING PHOTOS
PROVIDED BY APPLICANT





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CERTIFICATE OF APPROPRIATENESS

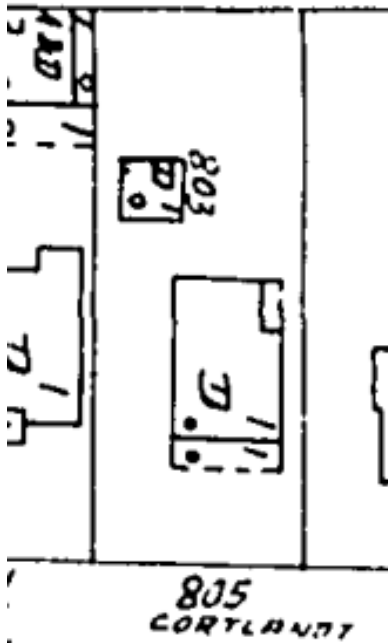
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SANBORN MAP 1924-1952 & BLA 1968



GAR 416.

DWG 5.
348.
300.
464.
1117.

OP 126. 45

SP 60.
77.
137.

EXISTING APPRAISALS, if any -
100% Value - without depreciation-\$ _____

Dep.-Pn. % Fu. % Ec. %\$ _____

NEW APPRAISALS

1117.	SP\$	490.	\$	5490.	\$
OP 126.		120.		150.	
SP 137.		250.		340.	
GAR 416.		170.		710.	
				6670.	
				4670.	
				2000.	

Appraiser's name & date
GODFREY
1-31-68

TOTAL VALUE \$ 2000.

AREA REVALUATION
FOR 19 69 40% \$ 800 = city
50% 1060 = school
Co. 20% - 400



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CONTEXT AREA



Figure 1- NEXT DOOR NEIGHBOR_GOOGLE STREET VIEW



Figure 2- ACROSS THE STREET NEIGHBOR_GOOGLE STREET VIEW



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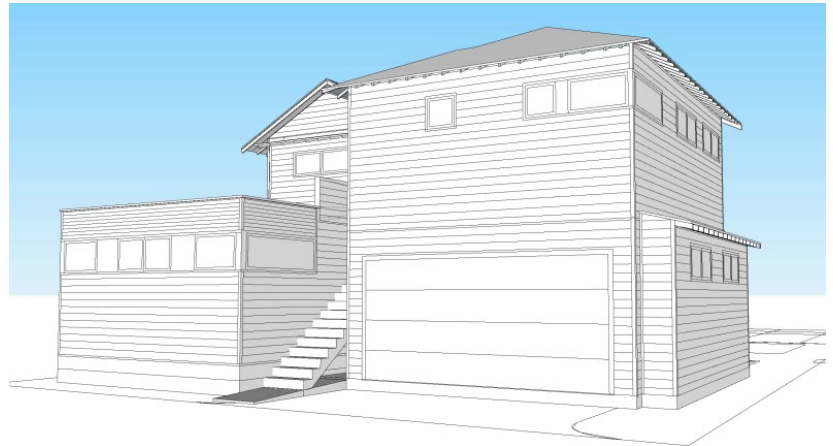
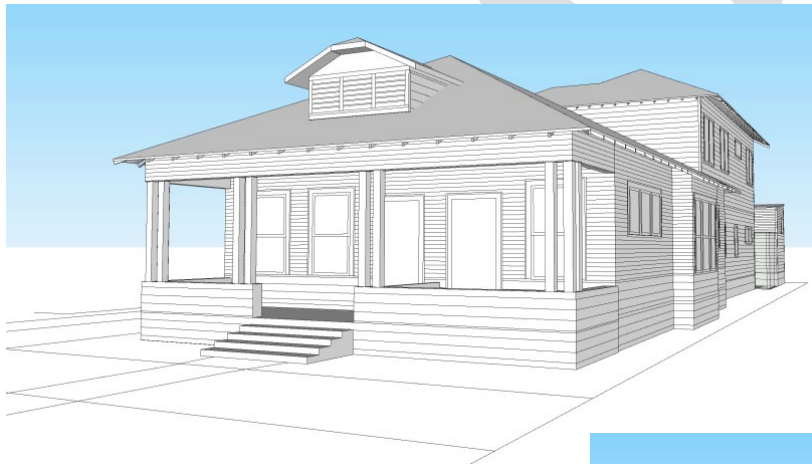
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PROPOSED 3D VIEWS





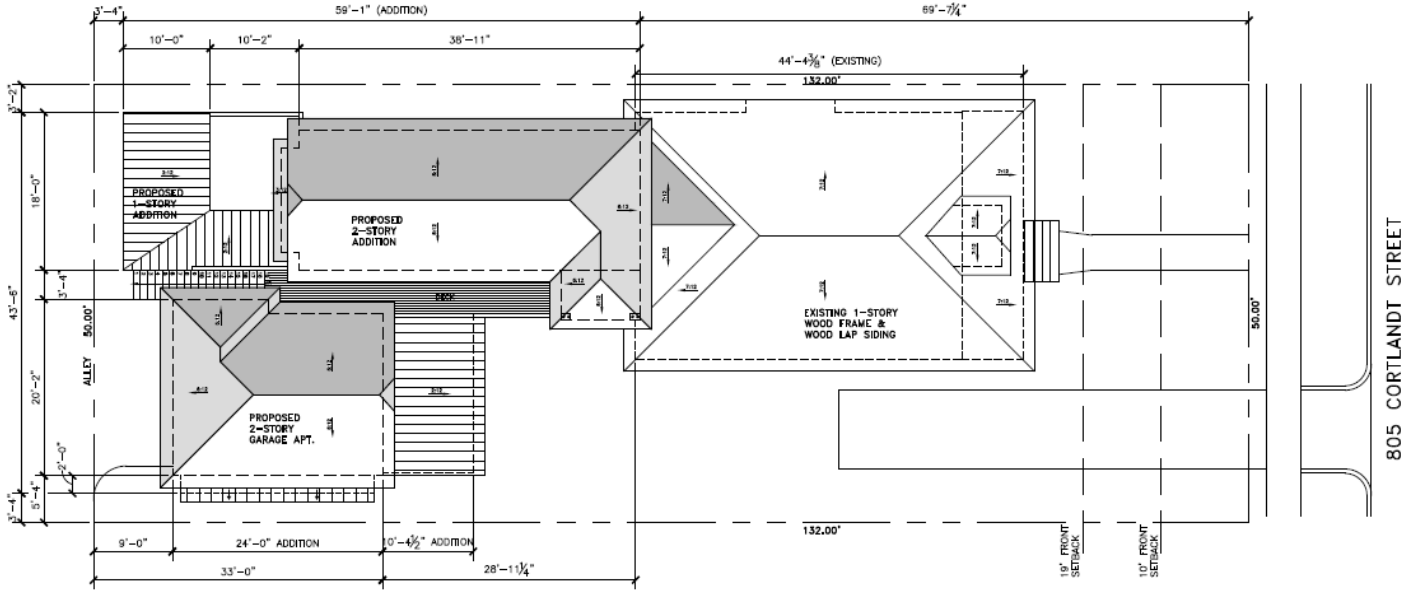
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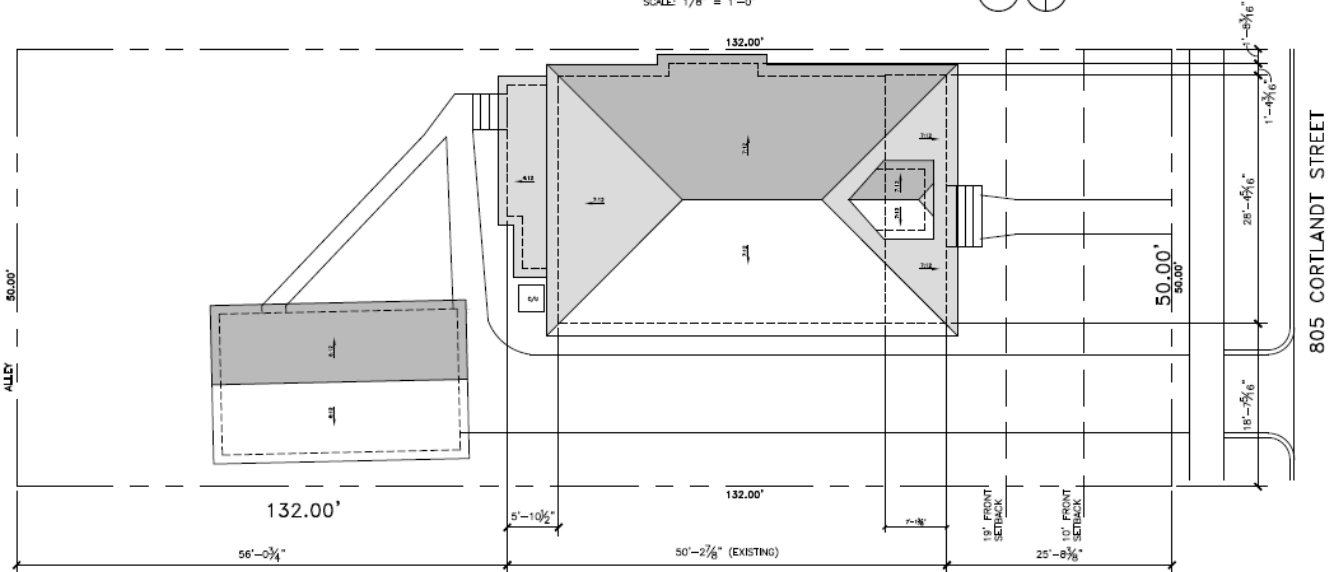


SITE PLAN (Addition + Garage)



PROPOSED SITE/ ROOF PLAN (2) [North Arrow]

SCALE: 1/8" = 1'-0"



PROPOSED SITE/ ROOF PLAN (2) [North Arrow]

SCALE: 1/8" = 1'-0"

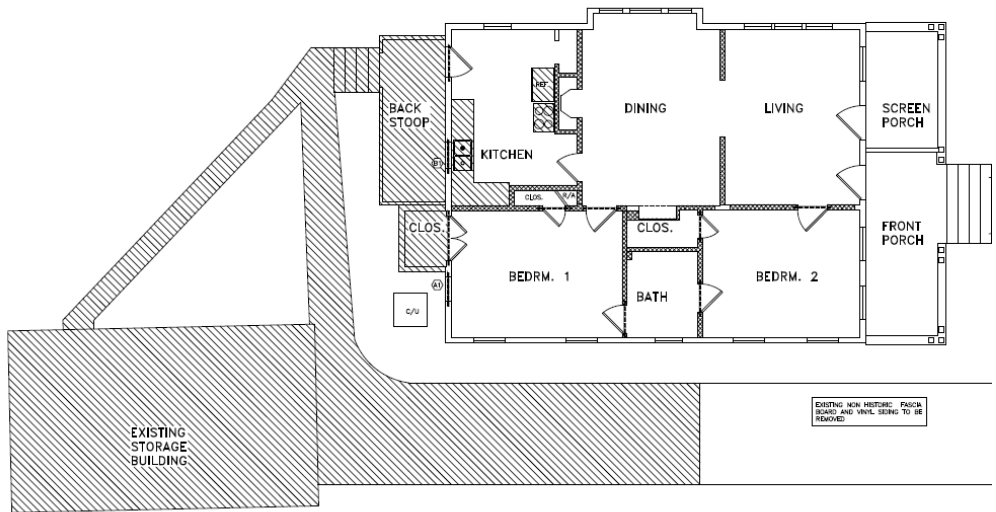


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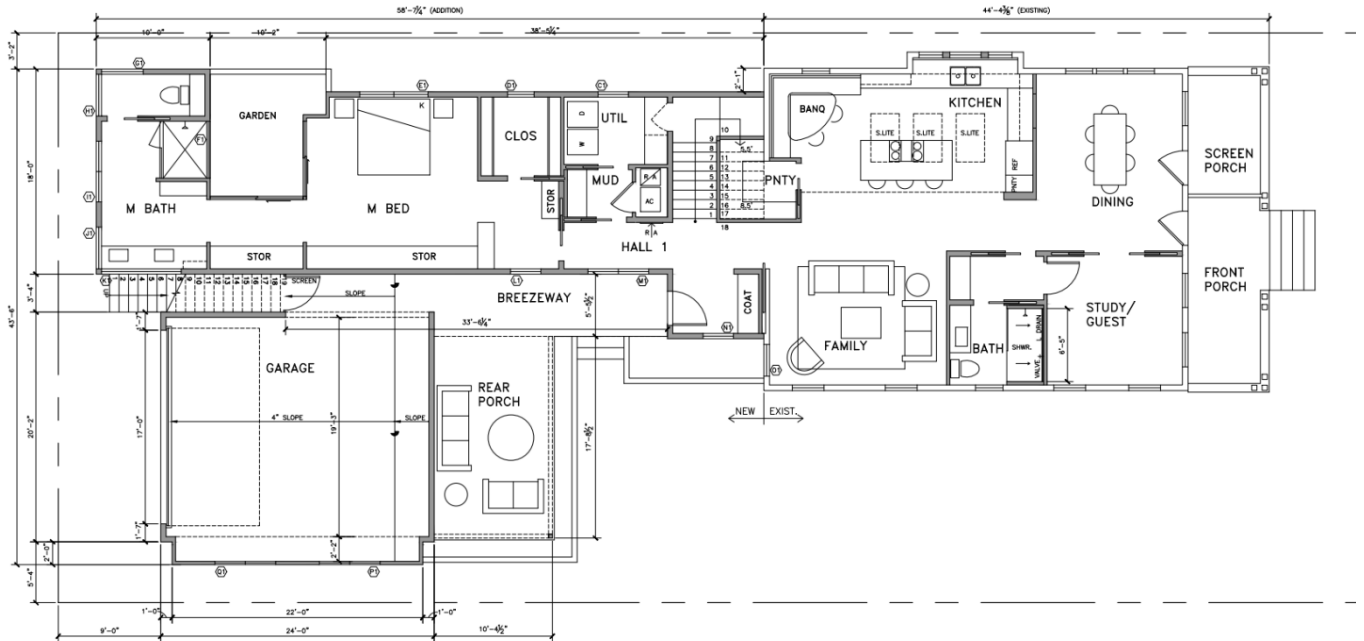
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FIRST FLOOR PLAN



132.00'

DEMOLITION PLAN 1
SCALE: 1/4" = 1'-0"



PROP. 1st FLOOR PLAN 1
SCALE: 1/4" = 1'-0"



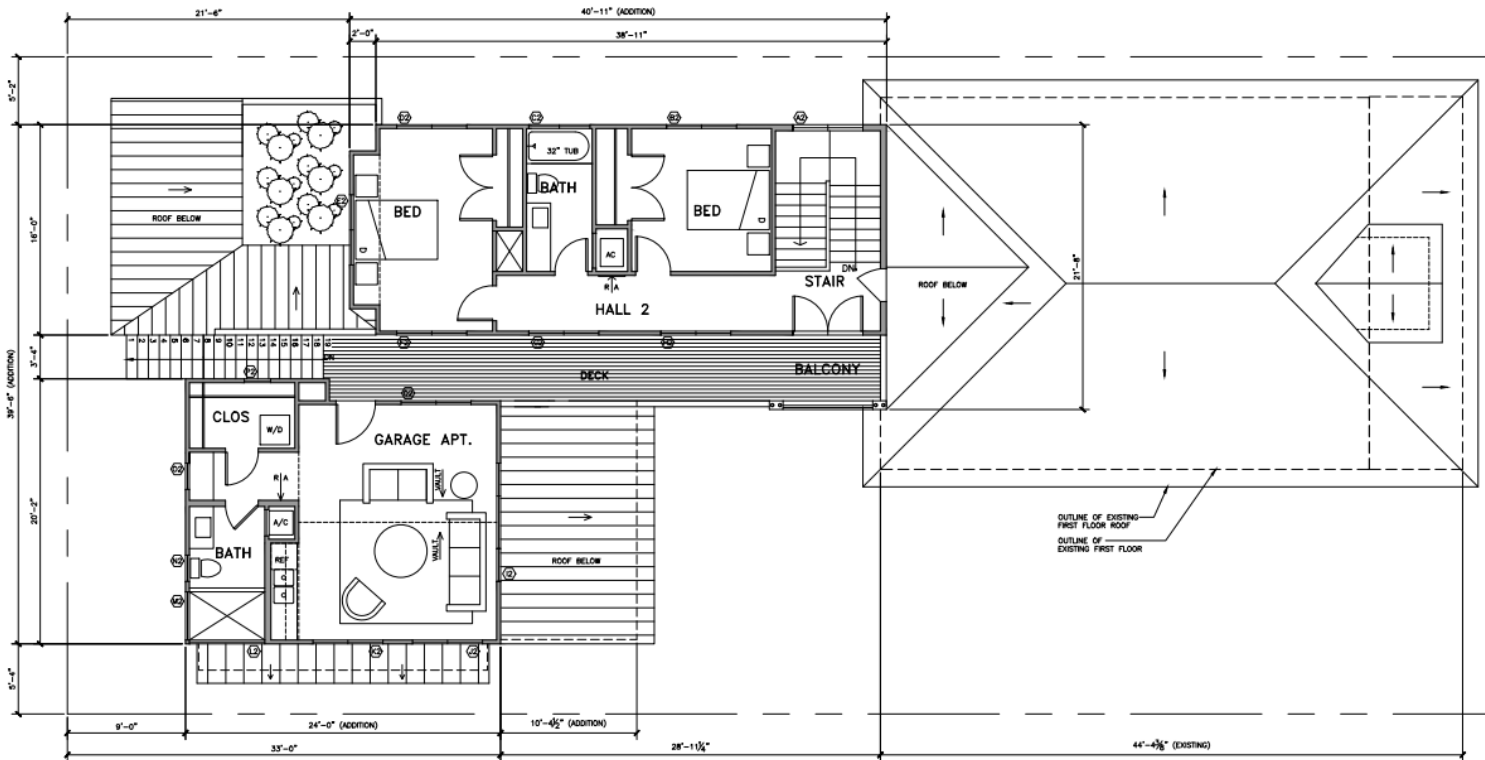
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SECOND FLOOR PLAN



PROP. 2nd FLOOR PLAN 1
SCALE: 1/4" = 1'-0"

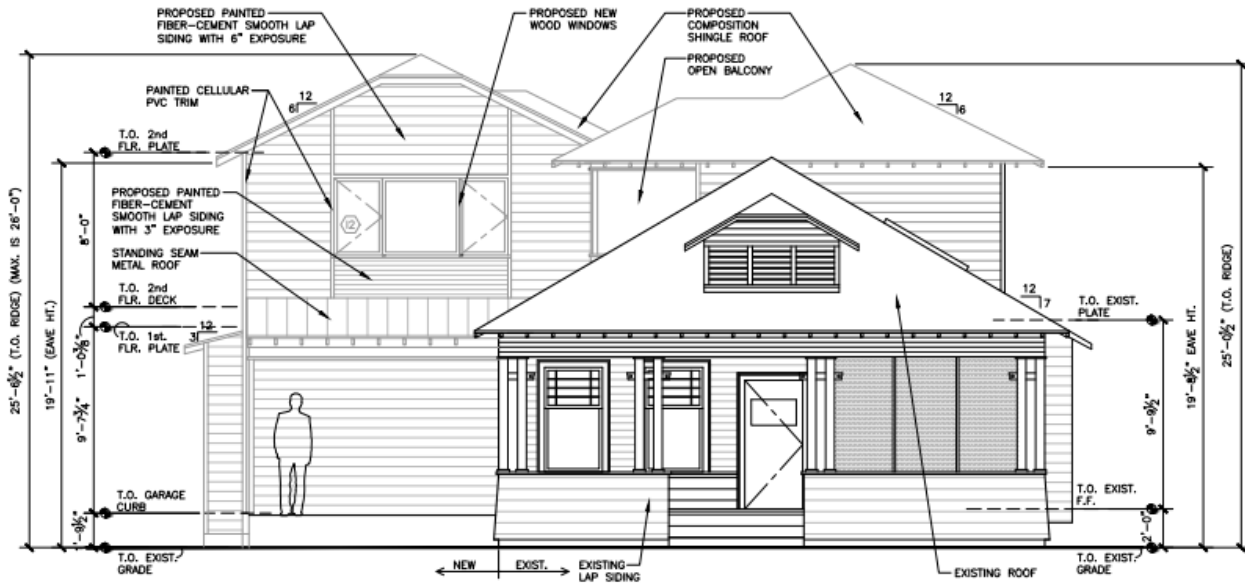


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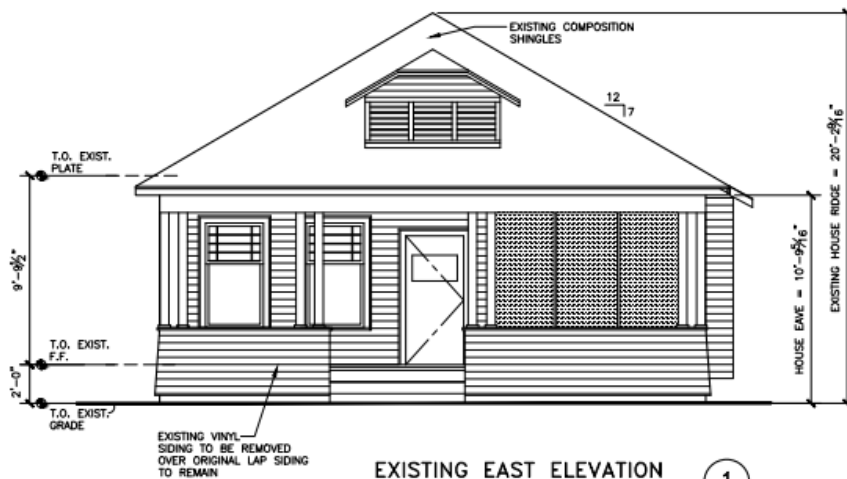
805 Cortlandt Street
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FRONT EAST ELEVATION



PROPOSED EAST ELEVATION 2

SCALE: 1/4" = 1'-0"



EXISTING EAST ELEVATION 1

SCALE: 1/4" = 1'-0"

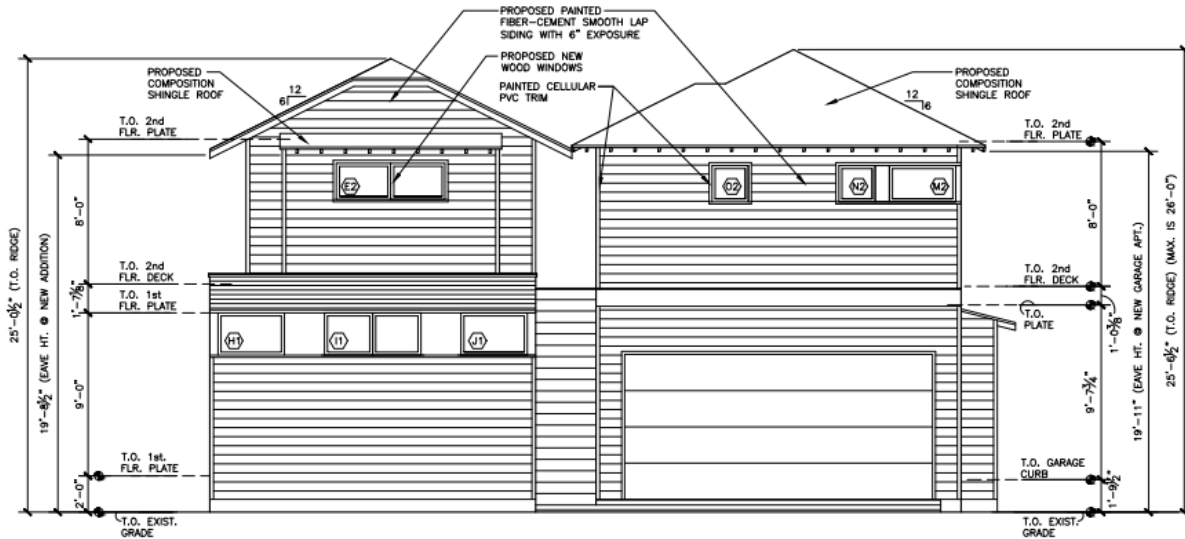


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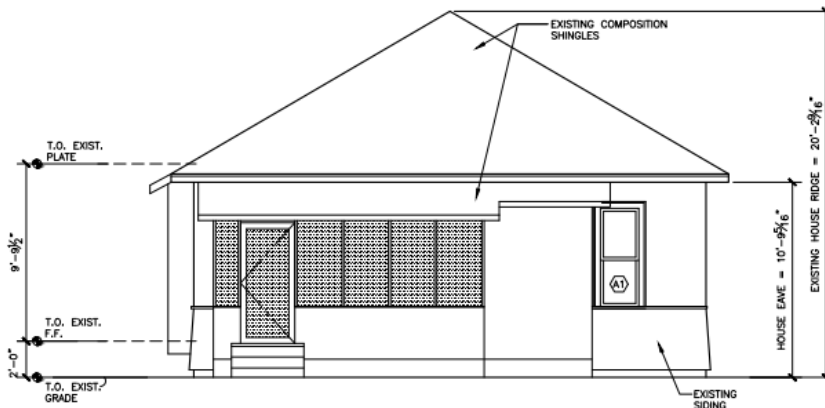
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REAR WEST ELEVATION



PROPOSED WEST ELEVATION ②
SCALE: 1/4" = 1'-0"



EXISTING WEST ELEVATION ①
SCALE: 1/4" = 1'-0"

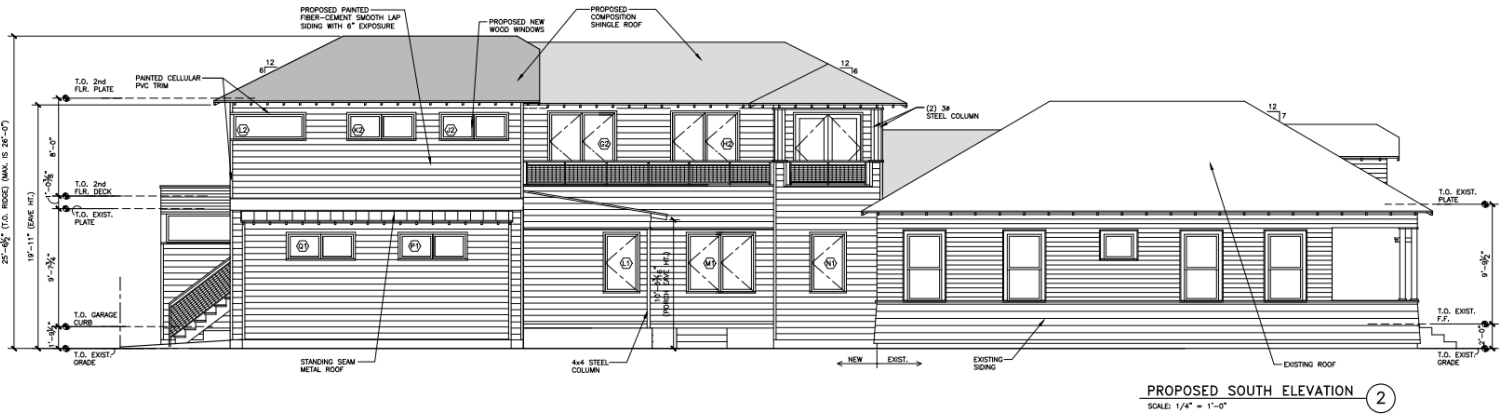


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SOUTH SIDE ELEVATION



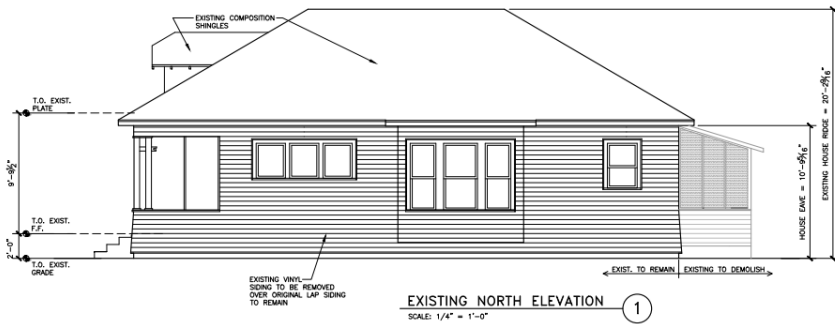
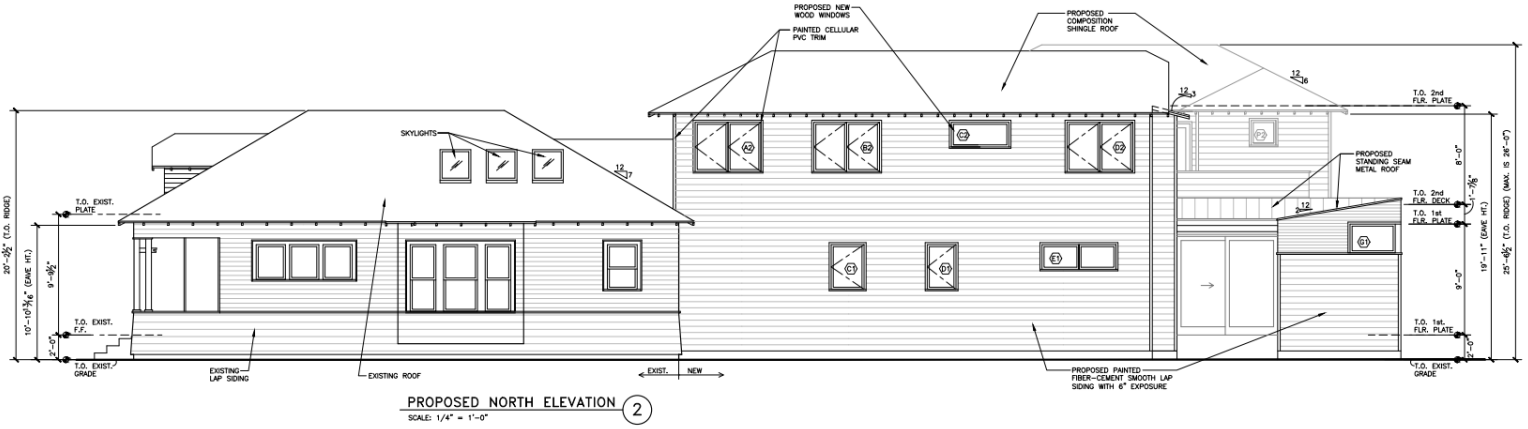


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NORTH SIDE ELEVATION





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WINODW & DOOR SCHEDULE

DRAFT

CERTIFICATE OF APPROPRIATENESS WINDOW WORKSHEET



**PLANNING &
DEVELOPMENT
DEPARTMENT**

EXISTING WINDOW SCHEDULE							
Window	Material	Lite Pattern	Style	Dimensions	Recessed/Inset	Original/Replacement	Existing to Remain
Ex. A1	Wood	1/1	DH	32 x 66	Recessed	Original	No
A1	Wood	1/1	DH	26x66	Recessed	Original	No
B1	Wood	1/1	DH	28x46	Recessed	Original	No
ALL OTHER EXISTING WINDOWS TO REMAIN							

DAMAGE TO EXISTING WINDOWS	
Window	Describe Damage
Ex. A1	Glass is broke, window is inoperable, rail is rotten, and frame is broken

PROPOSED WINDOW SCHEDULE							
Window	Material	Lite Pattern	Style	Dimensions	Recessed/Inset	Brand/Vendor	Other
Ex. A1	Wood	1/1	DH	32 x 66	Recessed	Plygem	
C1	Wood	1 Panel	CMNT	32x44	Recessed	Sierra Pacific	
D1	Wood	1 PANEL	CMNT	28x44	Recessed	Sierra Pacific	
E1	Wood	2 PANEL	FIXED	72x24	Recessed	Sierra Pacific	
F1	Wood	1 PANEL	FIXED	60x107	Recessed	Sierra Pacific	
G1	Wood	1 PANEL	FIXED	44x28	Recessed	Sierra Pacific	
H1	Wood	1 PANEL	FIXED	44x28	Recessed	Sierra Pacific	
I1	Wood	2 PANEL	FIXED	64x28	Recessed	Sierra Pacific	
J1	Wood	1 PANEL	FIXED	44x28	Recessed	Sierra Pacific	
K1	Wood	1 PANEL	FIXED	72x28	Recessed	Sierra Pacific	

- Must include photos of all windows with labels indicated on this sheet
 - Must include manufacture's specifications and details for all proposed windows
- *** Use additional sheets as necessary

CERTIFICATE OF APPROPRIATENESS WINDOW WORKSHEET



**PLANNING &
DEVELOPMENT
DEPARTMENT**

EXISTING WINDOW SCHEDULE

Window	Material	Lite Pattern	Style	Dimensions	Recessed/Inset	Original/Replacement	Existing to Remain
<i>Ex. A1</i>	<i>Wood</i>	<i>1/1</i>	<i>DH</i>	<i>32 x 66</i>	<i>Recessed</i>	<i>Original</i>	<i>No</i>

DAMAGE TO EXISTING WINDOWS

Window	Describe Damage
<i>Ex. A1</i>	<i>Glass is broke, window is inoperable, rail is rotten, and frame is broken</i>

PROPOSED WINDOW SCHEDULE

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<i>Ex. A1</i>	<i>Wood</i>	<i>1/1</i>	<i>DH</i>	<i>32 x 66</i>	<i>Recessed</i>	<i>Plygem</i>	

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**PLANNING &
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EXISTING WINDOW SCHEDULE

Window	Material	Lite Pattern	Style	Dimensions	Recessed/Inset	Original/Replacement	Existing to Remain
<i>Ex. A1</i>	<i>Wood</i>	<i>1/1</i>	<i>DH</i>	<i>32 x 66</i>	<i>Recessed</i>	<i>Original</i>	<i>No</i>

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Window	Describe Damage
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PROPOSED WINDOW SCHEDULE

Window	Material	Lite Pattern	Style	Dimensions	Recessed/Inset	Brand/Vendor	Other
<i>Ex. A1</i>	<i>Wood</i>	<i>1/1</i>	<i>DH</i>	<i>32 x 66</i>	<i>Recessed</i>	<i>Plygem</i>	

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**PLANNING &
DEVELOPMENT
DEPARTMENT**

EXISTING WINDOW SCHEDULE

Window	Material	Lite Pattern	Style	Dimensions	Recessed/Inset	Original/Replacement	Existing to Remain
<i>Ex. A1</i>	<i>Wood</i>	<i>1/1</i>	<i>DH</i>	<i>32 x 66</i>	<i>Recessed</i>	<i>Original</i>	<i>No</i>

DAMAGE TO EXISTING WINDOWS

Window	Describe Damage
<i>Ex. A1</i>	<i>Glass is broke, window is inoperable, rail is rotten, and frame is broken</i>

PROPOSED WINDOW SCHEDULE

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<i>Ex. A1</i>	<i>Wood</i>	<i>1/1</i>	<i>DH</i>	<i>32 x 66</i>	<i>Recessed</i>	<i>Plygem</i>	

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All Wood Double Hung



For a truly distinctive home, you can't beat the timeless elegance of all-wood windows. The concealed wood jambliner of our all-wood premium double hung is a big upgrade over other vinyl versions. With a combination of historic styling and contemporary engineering, they frame any view with sleek, natural beauty.

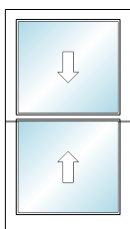
Standard Construction:

- 5-7/8" overall frame depth, with 11/16" frame thickness. Standard 4-9/16" jamb depth.
- Full 1-7/16" thick, mortise and tenoned sash.
- Block and tackle balance mechanism housed in concealed jambliners.
- Tilt in sash for easy cleaning.
- Flush mounted lock and keeper.
- Half or full roll form aluminum screens.



MINIMUM / MAXIMUM FRAME SIZES			
Additional sizes may be available upon request and approval.			
Wood Premium DH - Operating		Wood Premium DH - Picture	
Minimum Frame Width	17.5"	Minimum Frame Width	16.875"
Minimum Frame Height	32.625"	Minimum Frame Height	32.625"
Maximum Frame Width	45.5"	Maximum Frame Width	100.875"
Maximum Frame Height	92.625"	Maximum Frame Height	103.5"
		Maximum Square Feet	50"

Performance Data:



Operating DH: 37.5" x 76.625"

AIR INFILTRATION0.1/0.11/A2
 WATERNO LEAKAGE @ 7.52 PSF
 STRUCTURALLC-PG50



Picture DH: 61.375" x 76.625"

AIR INFILTRATION 0.01/0.01/A3
 WATER..... NO LEAKAGE @ 7.52 PSF
 STRUCTURAL..... CW-PG50

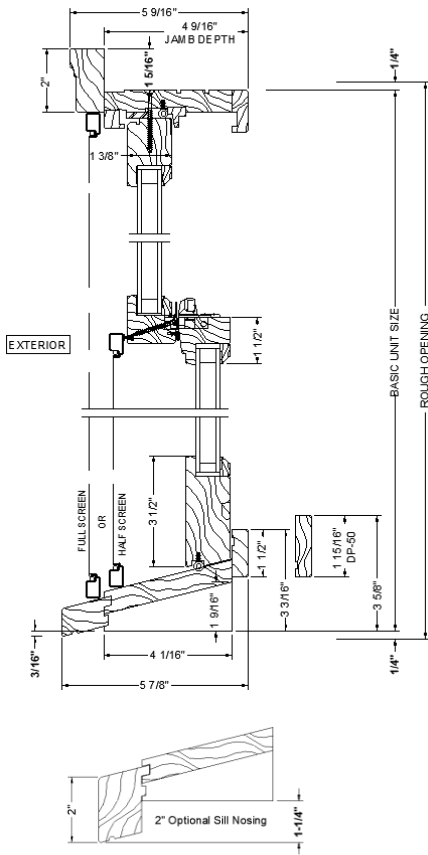
Thermal Performance (NFRC):

Air Filled		Argon Filled	
Low-E 272 Clear	Low-E 366	Low-E 272 Clear	Low-E 366
U-FACTOR.....0.32	U-FACTOR.....0.32	U-FACTOR.....0.28	U-FACTOR.....0.27
SHGC.....0.30	SHGC.....0.20	SHGC.....0.30	SHGC.....0.20
VT.....0.51	VT.....0.46	VT.....0.30	VT.....0.20
CR.....55	CR.....56	CR.....52	CR.....47

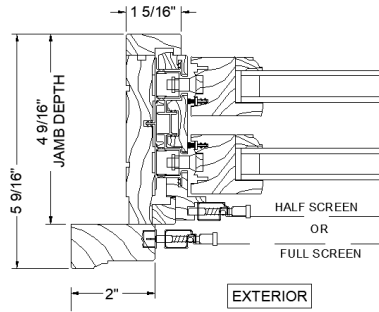
All values represent insulated glass units using black warm edge spacer. Additional glazing options available.

For a comprehensive list of glazing configurations, please refer to the Wood Premium Double Hung Product Performance Guide (NFRC) located in the Technical Resources Library on our website.

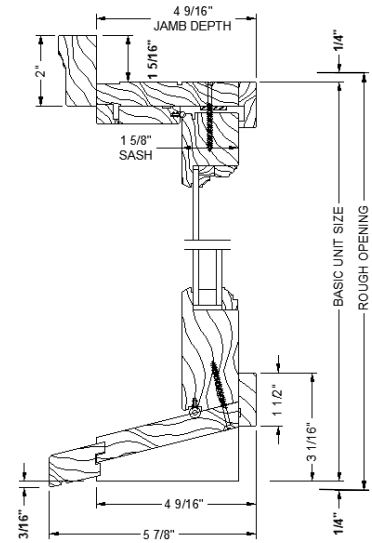
Standard 4-9/16" Jamb
VERTICAL SECTION - OPERATING



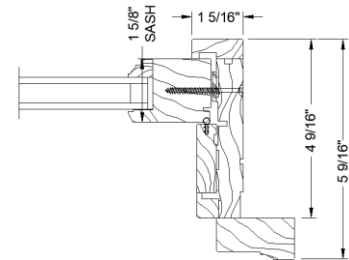
Standard 4-9/16" Jamb
HORIZONTAL SECTION - OPERATING



Standard 4-9/16" Jamb
VERTICAL SECTION - PICTURE



Standard 4-9/16" Jamb
HORIZONTAL SECTION - PICTURE



Additional product details are coming soon to our website www.sierrapacificwindows.com/ProfessionalResources/TechnicalLibrary

Wood Double Hung Additional Features

- Available in standard primed exterior (white or black) or natural exterior (no finish).
- Extensive offering of performance glass available in black warm edge or Cardinal spacer for optimum efficiency.
- Grille options including Simulated Divided Lites and Grilles-Between-Glass.
- 10 factory finished Ultra Coat Paint colors or 3 Ultra Stain Interior options.

Please visit our website www.sierrapacificwindows.com for additional details or contact your nearest Sierra Pacific Branch or Dealer location.



ADDITIONAL CASING OPTIONS



2" Brickmould



3.5" Brickmould



2" Flat Casing

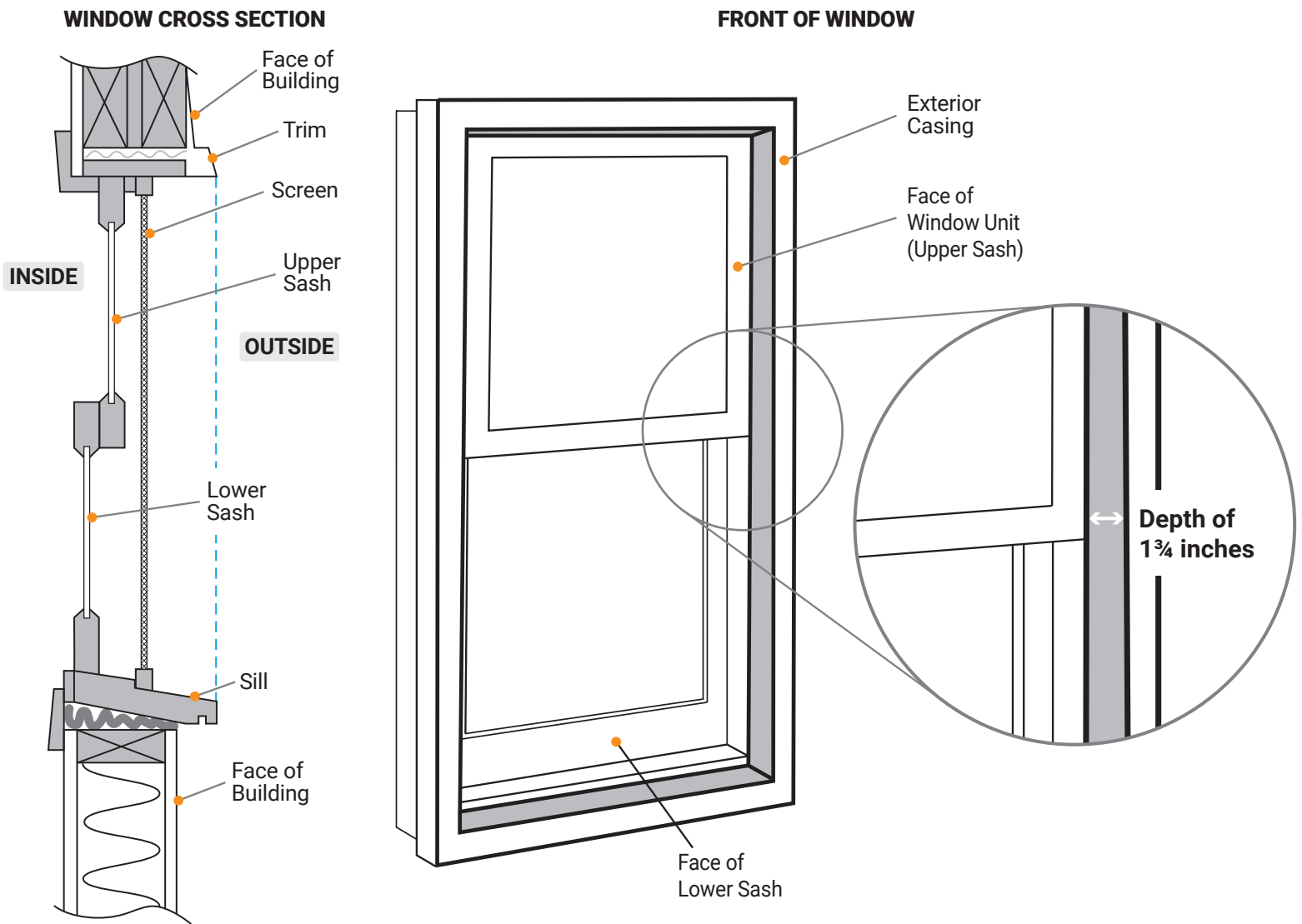


3" Flat Casing

5" Flat Casing Available.



Historic Window Standard: New Construction & Replacement



Minimum 1 3/4 inch Inset

- Depth from Exterior Casing to the Face of the Window Unit (Upper Sash)
- Windows must be 1-over-1 (equally horizontally divided)
- 1 3/4 inch minimum inset for Fixed Window

For more information contact: Houston Office of Preservation

832-393-6556

historicpreservation@houstontx.gov