



ITEM B7
HPO File #: HP2026-0124

May 21, 2026

805 Cortlandt Street
Houston Heights South

Applicant: Alberto Vaca, McIntyre + Robinowitz ARCHITECTS, agent for Lathan Henderson, owner

Property: 805 Cortlandt Street, Lot 11, Block 248, Houston Heights Neighborhood Subdivision. The property includes a 1,531 SF, one-story wood single-family residence situated on a 6,600 SF (50' x 132') interior lot.

Significance: Contributing Hipped Bungalow style residence, constructed circa 1915, located in the Houston Heights South Historic District.

Proposal: **Alteration Addition**, the applicant is proposing the following:

- The proposed project consists of a two-story addition and a two-story garage apartment at the rear of an existing one-story wood-siding, wood-frame contributing house. 927 sf on the first floor, 643 sf on the second floor.
- The addition will be clad in painted fiber-cement lap siding with both 6-inch and 2-inch exposures and trimmed with cellular PVC trim.
- The proposed eaves will feature exposed rafter tails to match the existing historic eaves, and roofing will be composition shingles.
- As part of the project, the non-original rear door will be removed. Two original windows on the rear elevation (one in Bedroom 1 and one in the kitchen) will also be removed, while all other existing wood windows will remain.
- All proposed new windows will be wood, inset and recessed.

Public Comment: No comment received

Civic Association: No comment received

Recommendation: Approval

HAHC Action: -



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APPROVAL CRITERIA

ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS

Sec. 33-241: HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark, (ii) protected landmark, (iii) any building, structure or object that is part of an archaeological site, or (iv) contributing building in a historic district upon finding that the application satisfies the following criteria, as applicable:

S D NA S - satisfies D - does not satisfy NA - not applicable

- (1) The proposed activity must retain and preserve the historical character of the property;
(2) The proposed activity must contribute to the continued availability of the property for a contemporary use;
(3) The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance;
(4) The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment;
(5) The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site;
(6) New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale;
(7) The proposed replacement of exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures;
(8) Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site;
(9) The proposed design for any exterior alterations or addition must not destroy significant historical, architectural, archaeological or cultural material, including but not limited to siding, windows, doors and porch elements;
(10) The proposed alteration or addition must be compatible with the massing, size, scale material and character of the property and the context area; and
(11) The distance from the property line to the front and side walls, porches, and exterior features of any proposed addition or alteration must be compatible with the distance to the property line of similar elements of existing contributing structures in the context area.

HEIGHTS DESIGN GUIDELINES

- In accordance with Sec. 33-276, the proposed activity must comply with the City Council approved Design Guidelines.



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HEIGHTS DESIGN GUIDELINES MEASURABLE STANDARDS

S D NA S - satisfies D - does not satisfy NA - not applicable

[X] [] []

Maximum Lot Coverage (Addition and New Construction)

Table with 2 columns: LOT SIZE, MAXIMUM LOT COVERAGE. Rows include lot size ranges from <4000 to 8000+ with corresponding coverage percentages.

Existing Lot Size: 6,600

Max. Allowed: 2,640

Proposed Lot Coverage: 1,955

Remaining Amount: 685

[X] [] []

Maximum Floor Area Ratio (Addition and New Construction)

Table with 2 columns: LOT SIZE, MAXIMUM FAR. Rows include lot size ranges from <4000 to 8000+ with corresponding FAR values.

Existing Lot Size: 6,600

Max. FAR Allowed: 2,904

Proposed FAR: 2,641

Remaining Amount: 263



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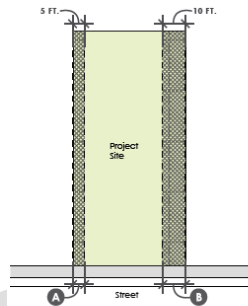
Side Wall Length and Insets (Addition and New Construction)

| MEASUREMENT | APPLICATION |
|-------------|---|
| 50 FT. | Maximum side wall length without inset (1-story) |
| 40 FT. | Maximum side wall length without inset (2-story) |
| 1 FT. | Minimum depth of inset section of side wall (1-story) |
| 2 FT. | Minimum depth of inset section of side wall (2-story) |
| 6 FT. | Minimum length of inset section of side wall |

Max Side Wall Length: 38'-11"

Inset depth: 2'-1"

Side Setbacks (Addition and New Construction)



Note: This diagram shows just one example of a side setback configuration.

| KEY | MEASUREMENT | APPLICATION |
|-----|-------------|--|
| A | 3 FT. | Minimum distance between side wall and the property line for lots less than 35 feet wide |
| B | 5 FT. | Minimum distance between the side wall and the property line |
| B | REMAINING | Difference between minimum side setback of 5 feet and minimum cumulative side setback |
| C | 6 FT. | Minimum cumulative side setback for lots less than 35 feet wide |
| C | 10 FT. | Minimum cumulative side setback for a one-story house |
| C | 15 FT. | Minimum cumulative side setback for a two-story house |

Proposed side setback (1): 5'-3"

Proposed side setback (2): 27'-1/2"

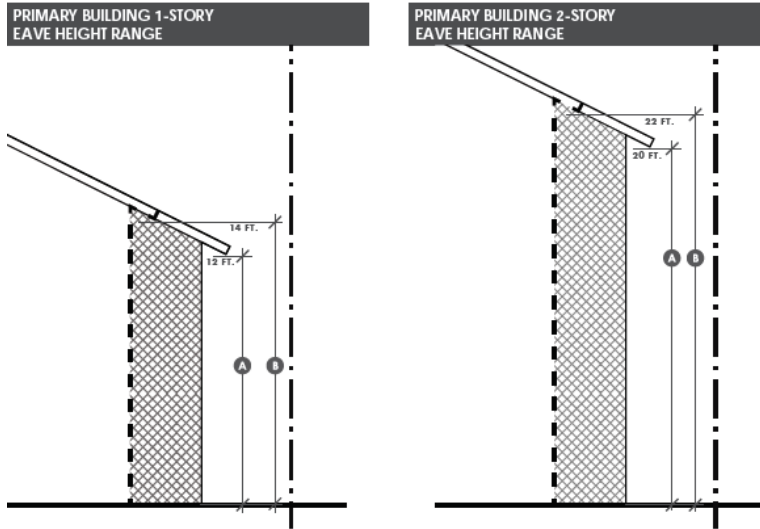


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Eave Height (Addition and New Construction)



| KEY | MEASUREMENT | APPLICATION |
|-----|-------------|---|
| A | 12 FT. | Maximum 1-story eave height at the 5 FT. minimum side setback |
| B | 14 FT. | Maximum 1-story eave height at 7 FT. or greater side setback |

| KEY | MEASUREMENT | APPLICATION |
|-----|-------------|---|
| A | 20 FT. | Maximum 2-story eave height at the 5 FT. minimum side setback |
| B | 22 FT. | Maximum 2-story eave height at 7 FT. or greater side setback |

Proposed eave height: 19'8 1/2"

Rear Setbacks (Addition and New Construction)

The City of Houston requires a minimum setback of three feet from the rear property line for all properties, except under the following circumstances:

- A front-facing garage which is located with its rear wall at the alley may have a zero-foot setback.
- An alley-loading garage generally must be located to establish a minimum of 20 feet of clearance from an opposing alley-loading garage door, the rear wall of a front-facing garage, or a fence; a 24-foot clearance is preferred.

Proposed rear setback: 24' at least



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Building Wall (Plate) Height (Addition and New Construction)

| MEASUREMENT | APPLICATION |
|-------------|---|
| 36 IN. | Maximum finished floor height (as measured at the front of the structure) |
| 10 FT. | Maximum first floor plate height |
| 9 FT. | Maximum second floor plate height |

Proposed finished floor: 36"

Proposed first floor plate height: 10'

Proposed second floor plate height: 9'

-

Detached Garage Ridge Height (New Construction)

| GARAGE 1-STORY RIDGE HEIGHT | | | GARAGE 2-STORY RIDGE HEIGHT | | |
|-----------------------------|-------------|-------------------------------------|-----------------------------|-------------|--|
| | | | | | |
| KEY | MEASUREMENT | APPLICATION | KEY | MEASUREMENT | APPLICATION |
| A | 16 FT. | Maximum 1-story garage ridge height | A | 26 FT. | Maximum 2-story garage ridge height (for garage apartment) |

Proposed ridge height: 25'-6 1/2"



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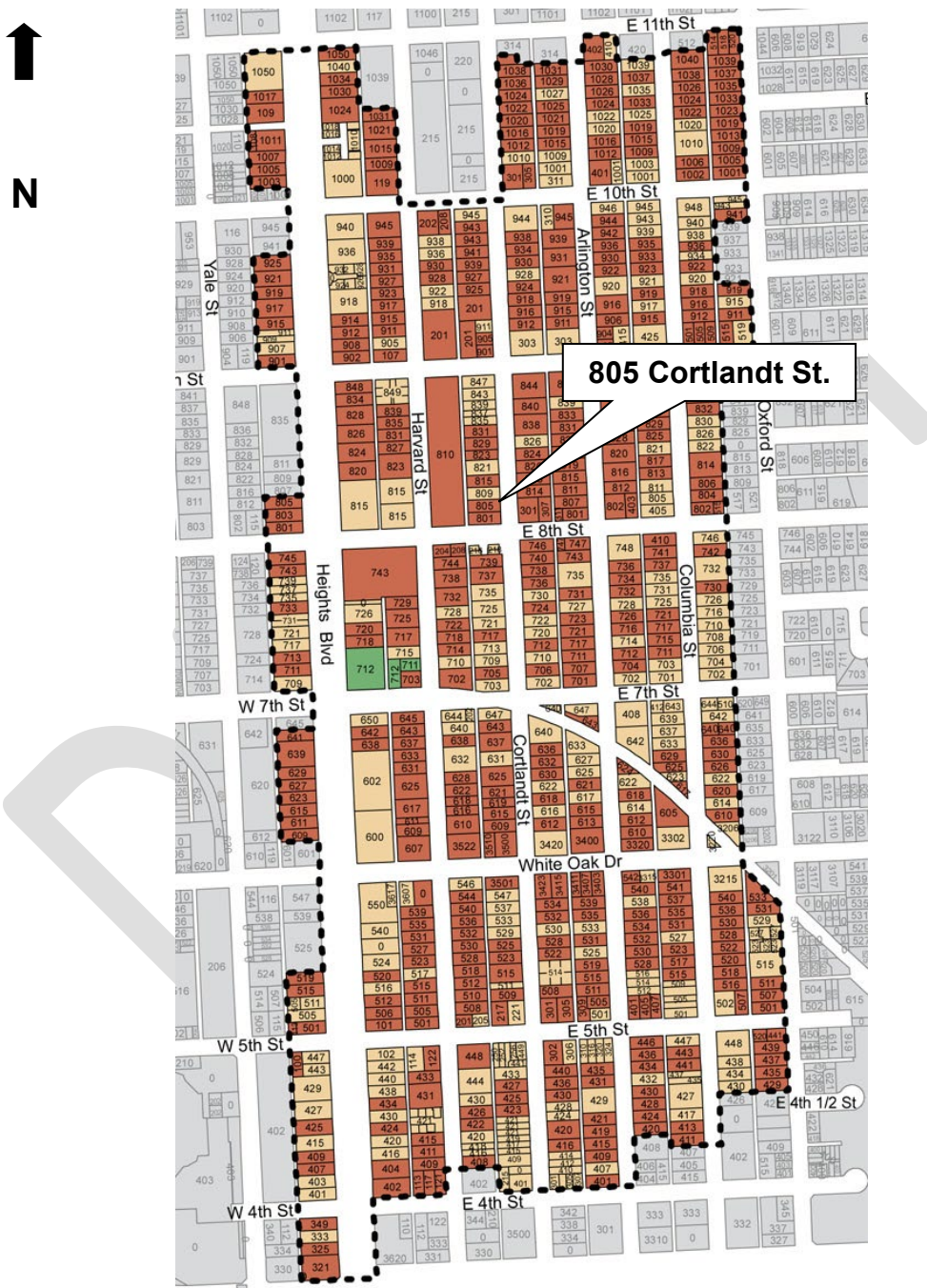
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PROPERTY LOCATION

HOUSTON HEIGHTS SOUTH HISTORIC DISTRICT





CERTIFICATE OF APPROPRIATENESS

Reviewed by the Houston Archaeological and Historical Commission

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INVENTORY PHOTO





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EXISTING PHOTOS
PROVIDED BY APPLICANT





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CERTIFICATE OF APPROPRIATENESS

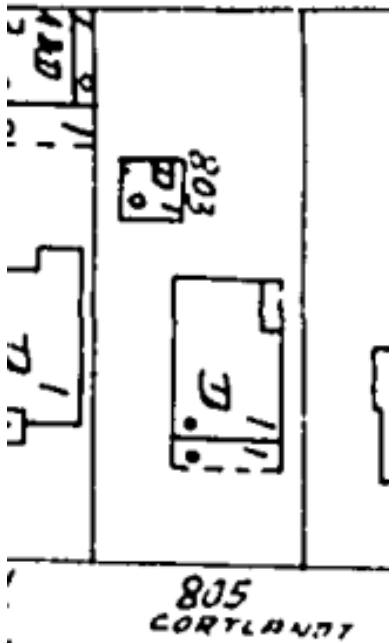
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SANBORN MAP 1924-1952 & BLA 1968



GAR 416.

DWG 5.
348.
300.
464.
1117.

OP 126. 45

SP 60.
77.
137.

EXISTING APPRAISALS, if any -
100% Value - without depreciation-\$ _____

| Dep.-Pn. | % Fu. | % Ec. | \$ |
|----------|-------|-------|----------|
| 1117. | SP | 490 | \$ 5490. |
| OP 126. | | 120 | 150. |
| SP 137. | | 250 | 340. |
| GAR 416. | | 170 | 710. |
| | | | 6670. |
| DEPR 70% | | | 4670. |
| | | | 2000. |

Appraiser's name & date
GODFREY
1-31-68

TOTAL VALUE \$ 2000.

AREA REVALUATION
FOR 19 69 40% \$ 800 = city
50% 1060 = school
Co. 20% - 400



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CONTEXT AREA



Figure 1- NEXT DOOR NEIGHBOR_GOOGLE STREET VIEW



Figure 2- ACROSS THE STREET NEIGHBOR_GOOGLE STREET VIEW

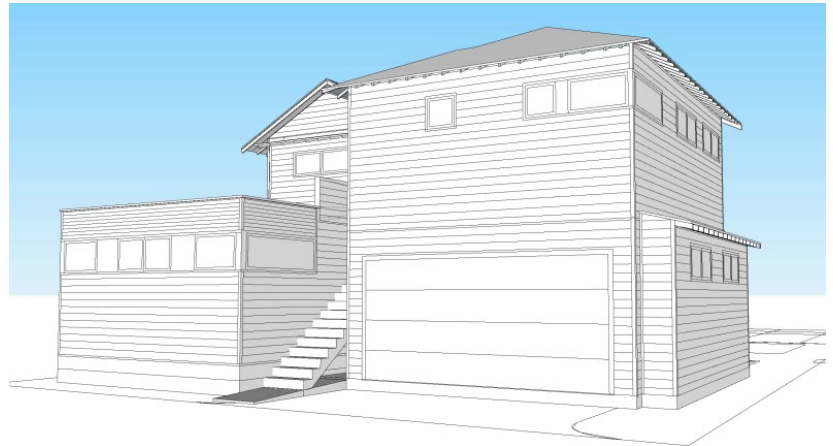
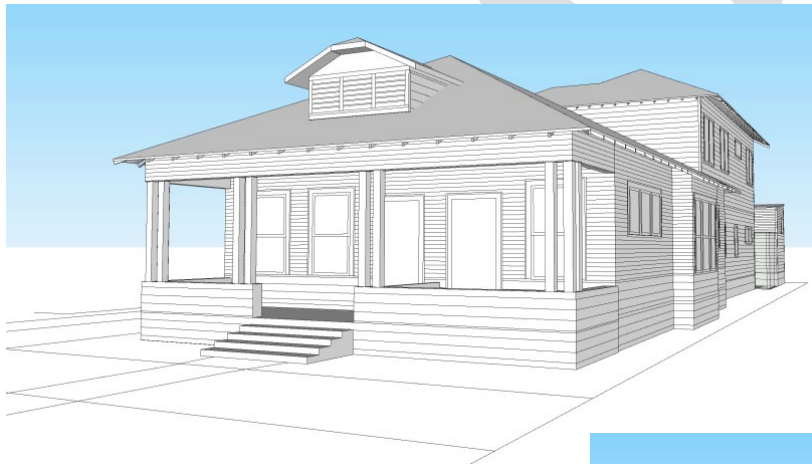


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PROPOSED 3D VIEWS





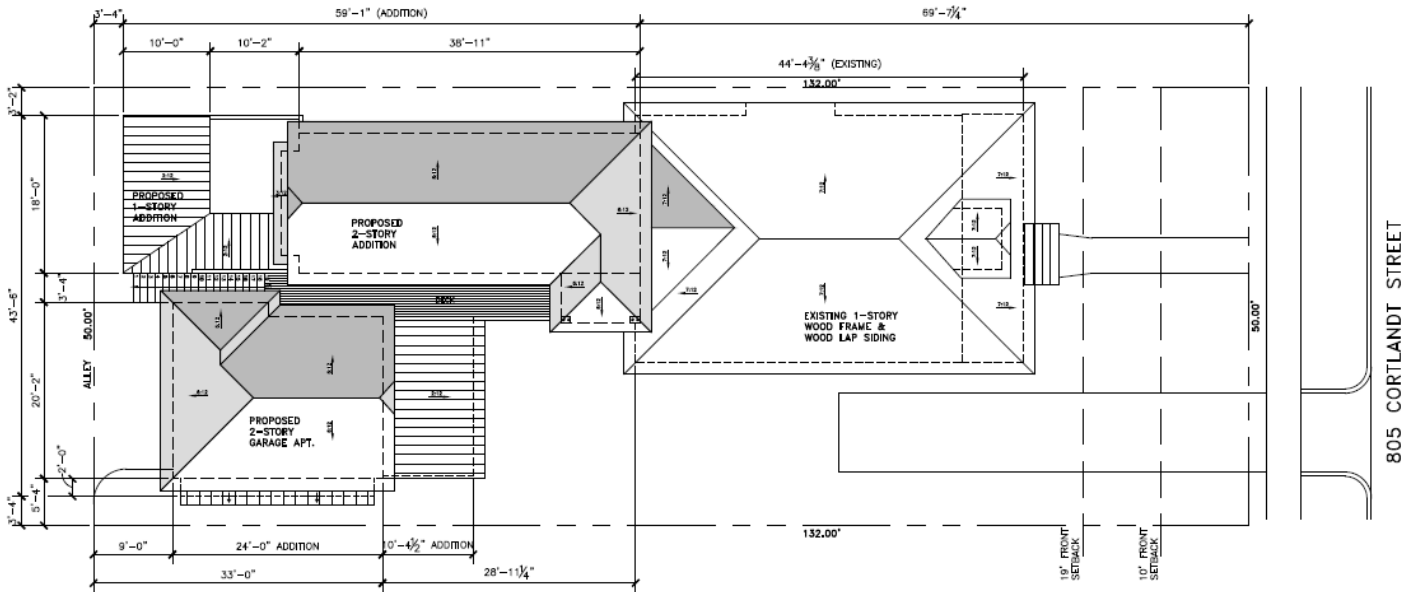
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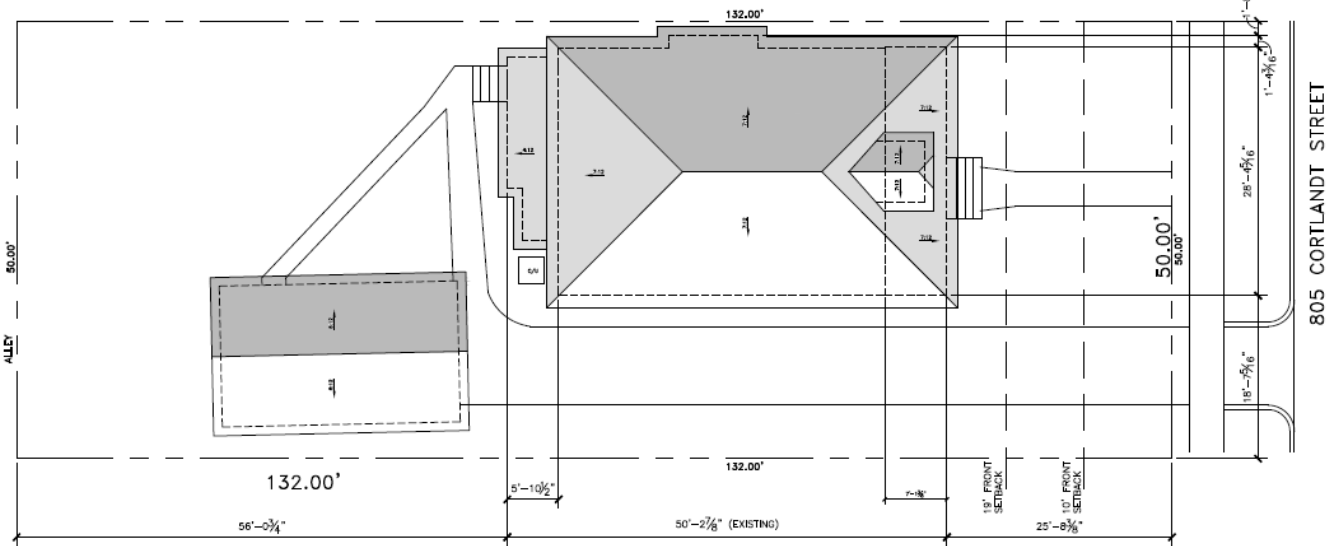


SITE PLAN (Addition + Garage)



PROPOSED SITE/ ROOF PLAN 2

SCALE: 1/8" = 1'-0"



PROPOSED SITE/ ROOF PLAN 2

SCALE: 1/8" = 1'-0"

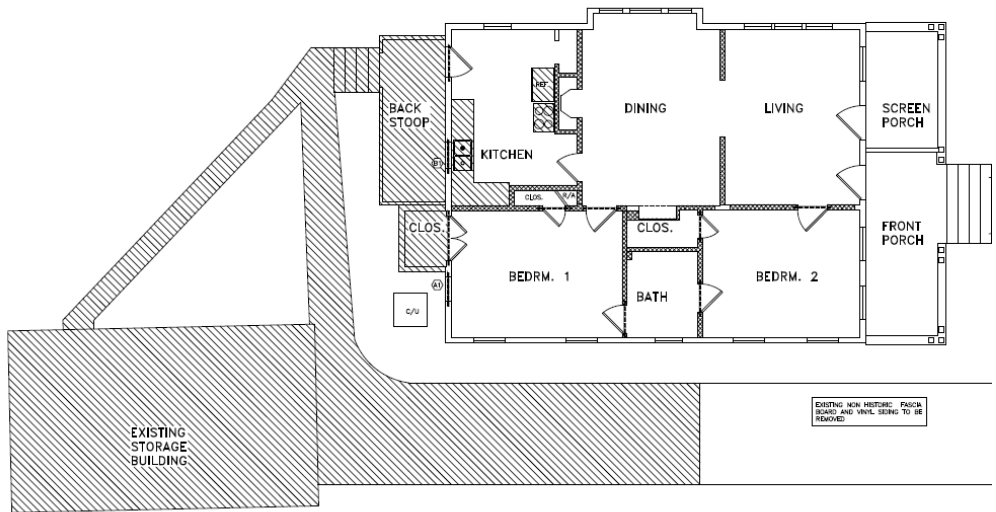


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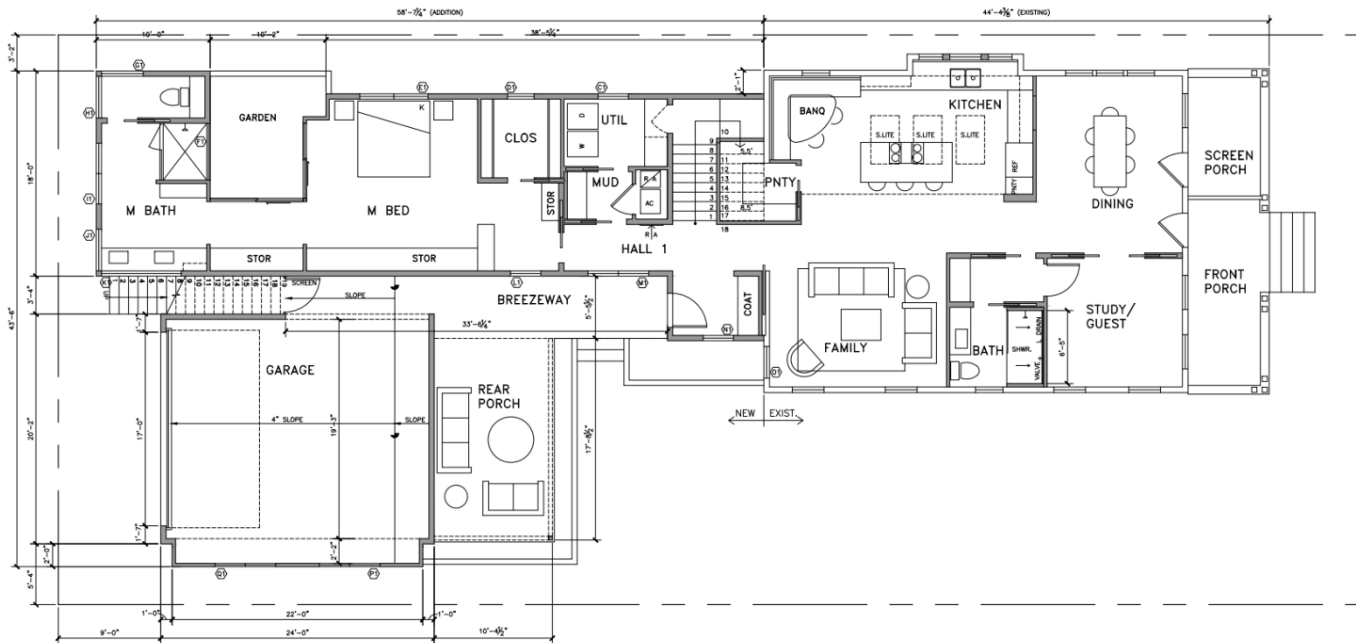
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FIRST FLOOR PLAN



132.00'

DEMOLITION PLAN 1
SCALE: 1/4" = 1'-0"



PROP. 1st FLOOR PLAN 1
SCALE: 1/4" = 1'-0"



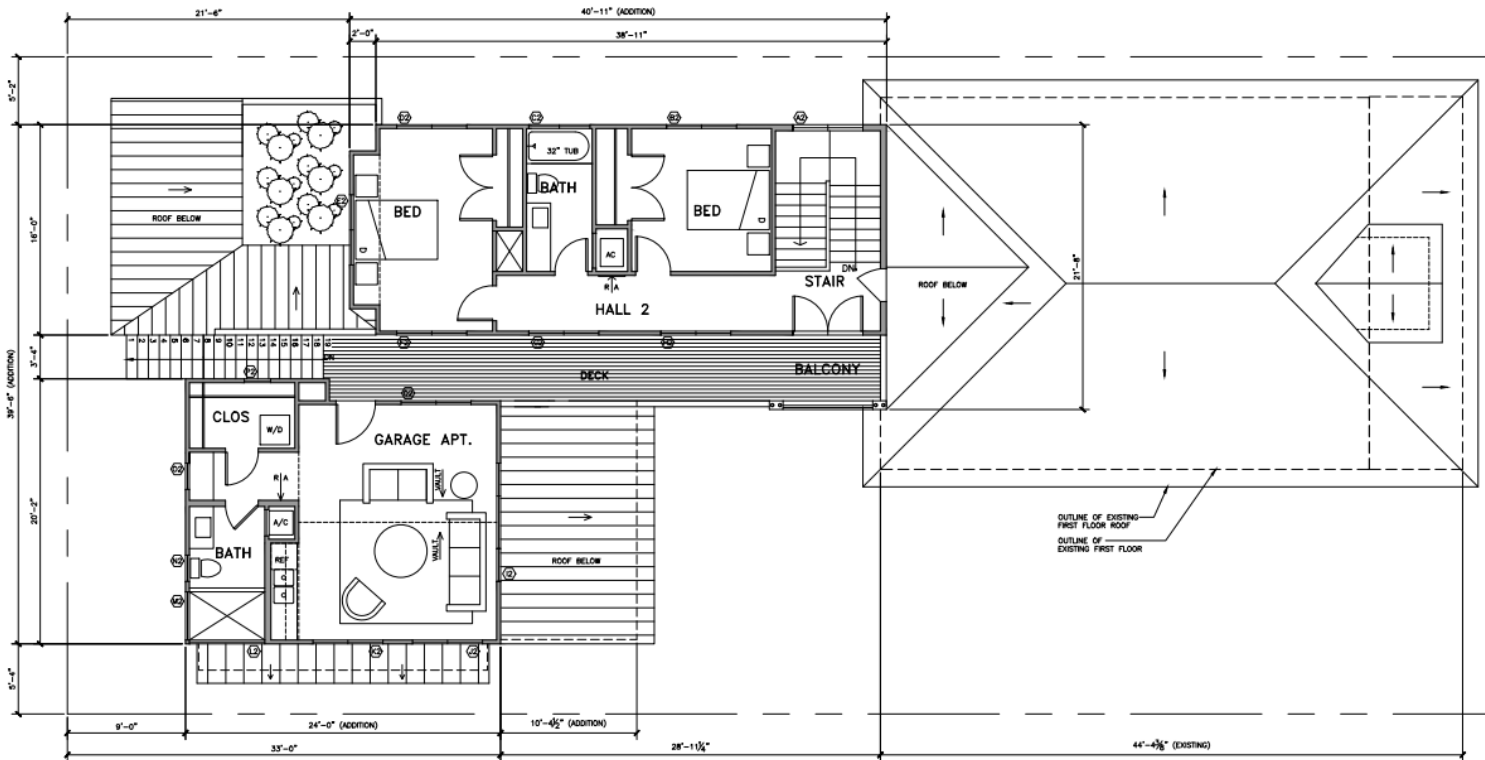
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SECOND FLOOR PLAN



PROP. 2nd FLOOR PLAN 1
SCALE: 1/4" = 1'-0"

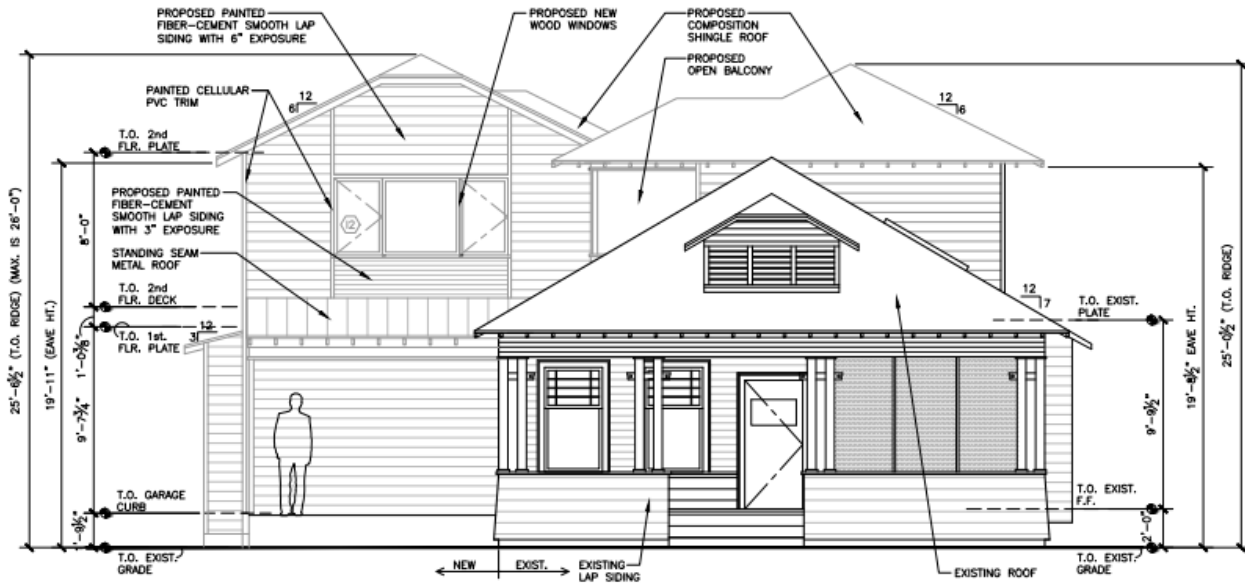


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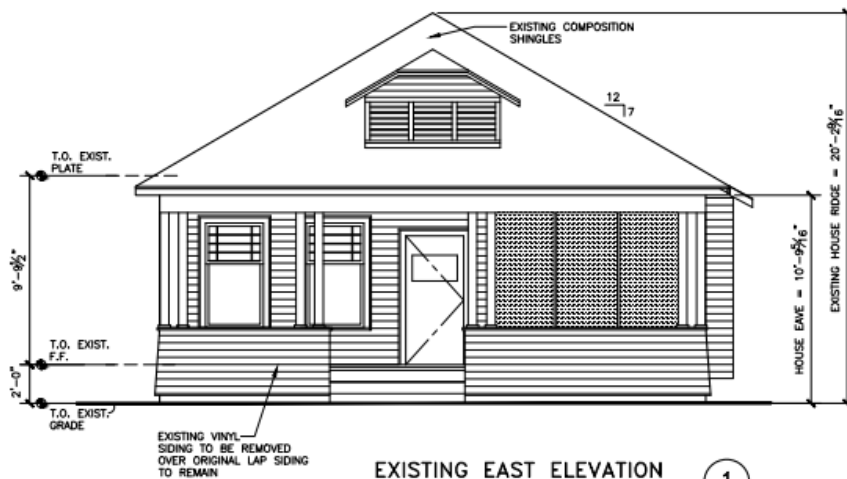
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FRONT EAST ELEVATION



PROPOSED EAST ELEVATION 2

SCALE: 1/4" = 1'-0"



EXISTING EAST ELEVATION 1

SCALE: 1/4" = 1'-0"

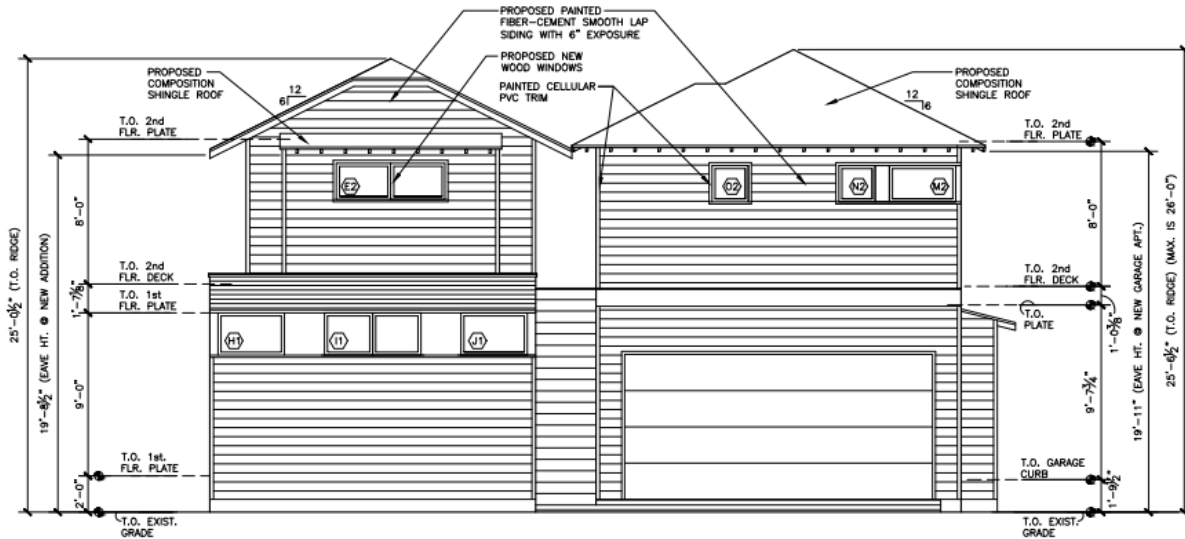


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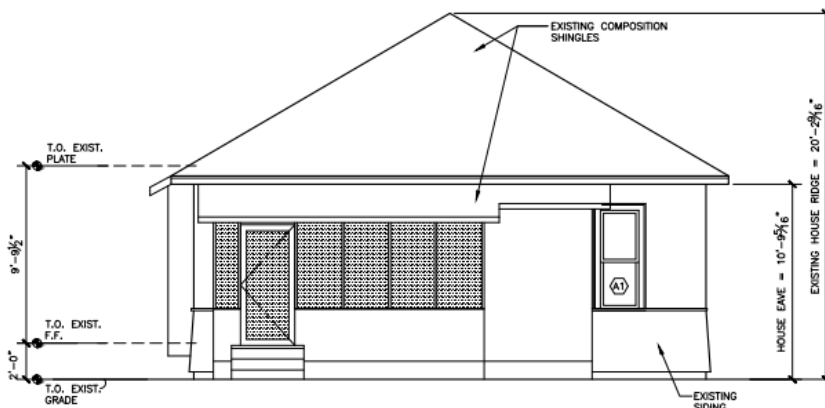
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REAR WEST ELEVATION



PROPOSED WEST ELEVATION ②
SCALE: 1/4" = 1'-0"



EXISTING WEST ELEVATION ①
SCALE: 1/4" = 1'-0"

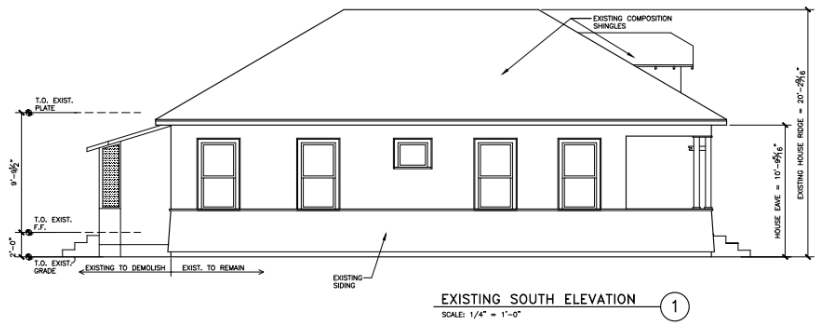
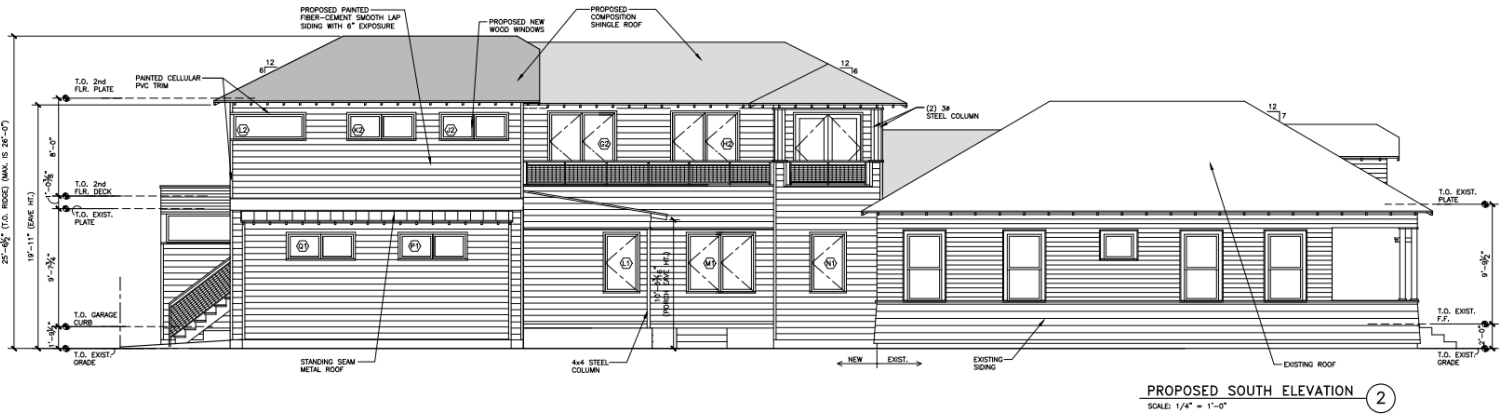


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SOUTH SIDE ELEVATION



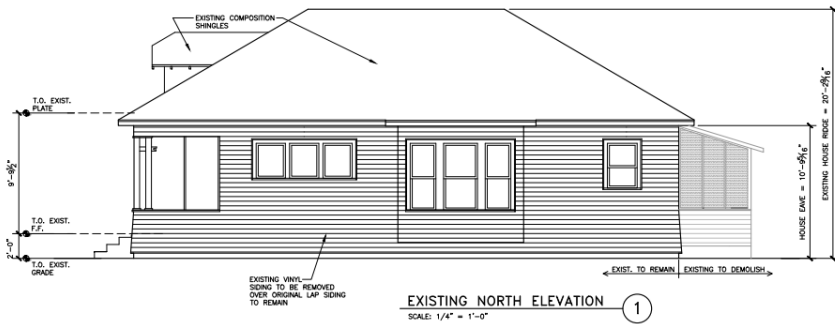
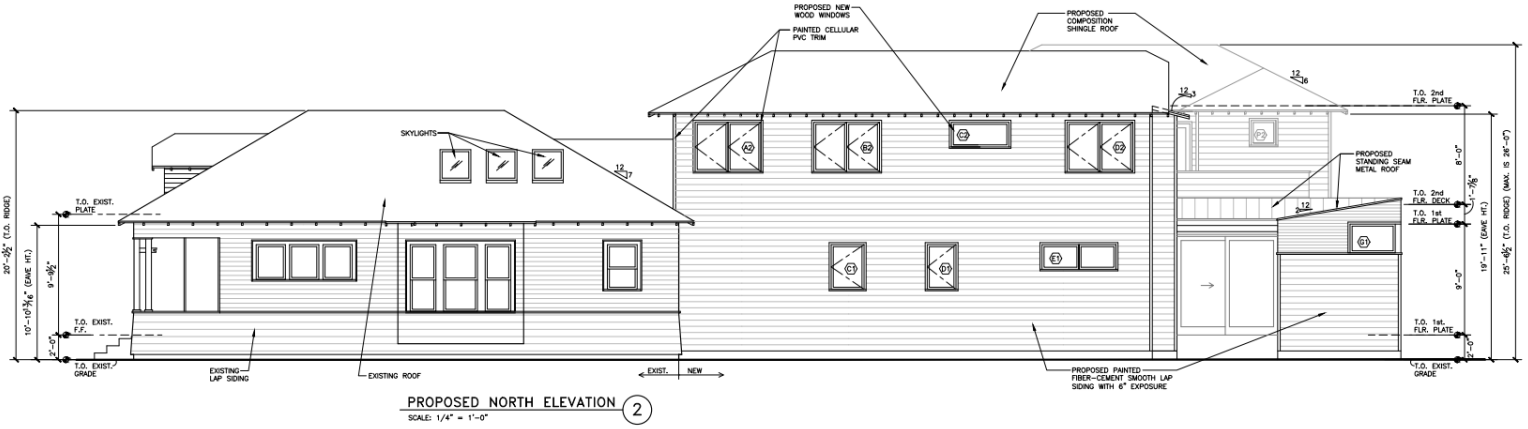


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NORTH SIDE ELEVATION





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WINODW & DOOR SCHEDULE

DRAFT

CERTIFICATE OF APPROPRIATENESS WINDOW WORKSHEET



**PLANNING &
DEVELOPMENT
DEPARTMENT**

| EXISTING WINDOW SCHEDULE | | | | | | | |
|---|----------|--------------|-------|------------|----------------|----------------------|--------------------|
| Window | Material | Lite Pattern | Style | Dimensions | Recessed/Inset | Original/Replacement | Existing to Remain |
| Ex. A1 | Wood | 1/1 | DH | 32 x 66 | Recessed | Original | No |
| A1 | Wood | 1/1 | DH | 26x66 | Recessed | Original | No |
| B1 | Wood | 1/1 | DH | 28x46 | Recessed | Original | No |
| ALL OTHER EXISTING WINDOWS TO REMAIN | | | | | | | |
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| DAMAGE TO EXISTING WINDOWS | |
|----------------------------|---|
| Window | Describe Damage |
| Ex. A1 | Glass is broke, window is inoperable, rail is rotten, and frame is broken |
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| PROPOSED WINDOW SCHEDULE | | | | | | | |
|--------------------------|----------|--------------|-------|------------|----------------|----------------|-------|
| Window | Material | Lite Pattern | Style | Dimensions | Recessed/Inset | Brand/Vendor | Other |
| Ex. A1 | Wood | 1/1 | DH | 32 x 66 | Recessed | Plygem | |
| C1 | Wood | 1 Panel | CMNT | 32x44 | Recessed | Sierra Pacific | |
| D1 | Wood | 1 PANEL | CMNT | 28x44 | Recessed | Sierra Pacific | |
| E1 | Wood | 2 PANEL | FIXED | 72x24 | Recessed | Sierra Pacific | |
| F1 | Wood | 1 PANEL | FIXED | 60x107 | Recessed | Sierra Pacific | |
| G1 | Wood | 1 PANEL | FIXED | 44x28 | Recessed | Sierra Pacific | |
| H1 | Wood | 1 PANEL | FIXED | 44x28 | Recessed | Sierra Pacific | |
| I1 | Wood | 2 PANEL | FIXED | 64x28 | Recessed | Sierra Pacific | |
| J1 | Wood | 1 PANEL | FIXED | 44x28 | Recessed | Sierra Pacific | |
| K1 | Wood | 1 PANEL | FIXED | 72x28 | Recessed | Sierra Pacific | |

- Must include photos of all windows with labels indicated on this sheet
 - Must include manufacture's specifications and details for all proposed windows
- *** Use additional sheets as necessary

CERTIFICATE OF APPROPRIATENESS WINDOW WORKSHEET



**PLANNING &
DEVELOPMENT
DEPARTMENT**

EXISTING WINDOW SCHEDULE

| Window | Material | Lite Pattern | Style | Dimensions | Recessed/Inset | Original/Replacement | Existing to Remain |
|---------------|-------------|--------------|-----------|----------------|-----------------|----------------------|--------------------|
| <i>Ex. A1</i> | <i>Wood</i> | <i>1/1</i> | <i>DH</i> | <i>32 x 66</i> | <i>Recessed</i> | <i>Original</i> | <i>No</i> |
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DAMAGE TO EXISTING WINDOWS

| Window | Describe Damage |
|---------------|--|
| <i>Ex. A1</i> | <i>Glass is broke, window is inoperable, rail is rotten, and frame is broken</i> |
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PROPOSED WINDOW SCHEDULE

| Window | Material | Lite Pattern | Style | Dimensions | Recessed/Inset | Brand/Vendor | Other |
|---------------|-------------|--------------|-----------|----------------|-----------------|---------------|-------|
| <i>Ex. A1</i> | <i>Wood</i> | <i>1/1</i> | <i>DH</i> | <i>32 x 66</i> | <i>Recessed</i> | <i>Plygem</i> | |
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CERTIFICATE OF APPROPRIATENESS WINDOW WORKSHEET



**PLANNING &
DEVELOPMENT
DEPARTMENT**

EXISTING WINDOW SCHEDULE

| Window | Material | Lite Pattern | Style | Dimensions | Recessed/Inset | Original/Replacement | Existing to Remain |
|---------------|-------------|--------------|-----------|----------------|-----------------|----------------------|--------------------|
| <i>Ex. A1</i> | <i>Wood</i> | <i>1/1</i> | <i>DH</i> | <i>32 x 66</i> | <i>Recessed</i> | <i>Original</i> | <i>No</i> |
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DAMAGE TO EXISTING WINDOWS

| Window | Describe Damage |
|---------------|--|
| <i>Ex. A1</i> | <i>Glass is broke, window is inoperable, rail is rotten, and frame is broken</i> |
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PROPOSED WINDOW SCHEDULE

| Window | Material | Lite Pattern | Style | Dimensions | Recessed/Inset | Brand/Vendor | Other |
|---------------|-------------|--------------|-----------|----------------|-----------------|---------------|-------|
| <i>Ex. A1</i> | <i>Wood</i> | <i>1/1</i> | <i>DH</i> | <i>32 x 66</i> | <i>Recessed</i> | <i>Plygem</i> | |
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- Must include photos of all windows with labels indicated on this sheet
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- *** Use additional sheets as necessary

CERTIFICATE OF APPROPRIATENESS WINDOW WORKSHEET



**PLANNING &
DEVELOPMENT
DEPARTMENT**

EXISTING WINDOW SCHEDULE

| Window | Material | Lite Pattern | Style | Dimensions | Recessed/Inset | Original/Replacement | Existing to Remain |
|---------------|-------------|--------------|-----------|----------------|-----------------|----------------------|--------------------|
| <i>Ex. A1</i> | <i>Wood</i> | <i>1/1</i> | <i>DH</i> | <i>32 x 66</i> | <i>Recessed</i> | <i>Original</i> | <i>No</i> |
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DAMAGE TO EXISTING WINDOWS

| Window | Describe Damage |
|---------------|--|
| <i>Ex. A1</i> | <i>Glass is broke, window is inoperable, rail is rotten, and frame is broken</i> |
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PROPOSED WINDOW SCHEDULE

| Window | Material | Lite Pattern | Style | Dimensions | Recessed/Inset | Brand/Vendor | Other |
|---------------|-------------|--------------|-----------|----------------|-----------------|---------------|-------|
| <i>Ex. A1</i> | <i>Wood</i> | <i>1/1</i> | <i>DH</i> | <i>32 x 66</i> | <i>Recessed</i> | <i>Plygem</i> | |
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 - Must include manufacture’s specifications and details for all proposed windows
- *** Use additional sheets as necessary

All Wood Double Hung



For a truly distinctive home, you can't beat the timeless elegance of all-wood windows. The concealed wood jambliner of our all-wood premium double hung is a big upgrade over other vinyl versions. With a combination of historic styling and contemporary engineering, they frame any view with sleek, natural beauty.

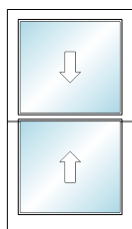
Standard Construction:

- 5-7/8" overall frame depth, with 11/16" frame thickness. Standard 4-9/16" jamb depth.
- Full 1-7/16" thick, mortise and tenoned sash.
- Block and tackle balance mechanism housed in concealed jambliners.
- Tilt in sash for easy cleaning.
- Flush mounted lock and keeper.
- Half or full roll form aluminum screens.



| MINIMUM / MAXIMUM FRAME SIZES | | | |
|--|---------|---------------------------|----------|
| Additional sizes may be available upon request and approval. | | | |
| Wood Premium DH - Operating | | Wood Premium DH - Picture | |
| Minimum Frame Width | 17.5" | Minimum Frame Width | 16.875" |
| Minimum Frame Height | 32.625" | Minimum Frame Height | 32.625" |
| Maximum Frame Width | 45.5" | Maximum Frame Width | 100.875" |
| Maximum Frame Height | 92.625" | Maximum Frame Height | 103.5" |
| | | Maximum Square Feet | 50" |

Performance Data:



Operating DH: 37.5" x 76.625"

AIR INFILTRATION0.1/0.11/A2
 WATERNO LEAKAGE @ 7.52 PSF
 STRUCTURALLC-PG50



Picture DH: 61.375" x 76.625"

AIR INFILTRATION 0.01/0.01/A3
 WATER..... NO LEAKAGE @ 7.52 PSF
 STRUCTURAL..... CW-PG50

Thermal Performance (NFRC):

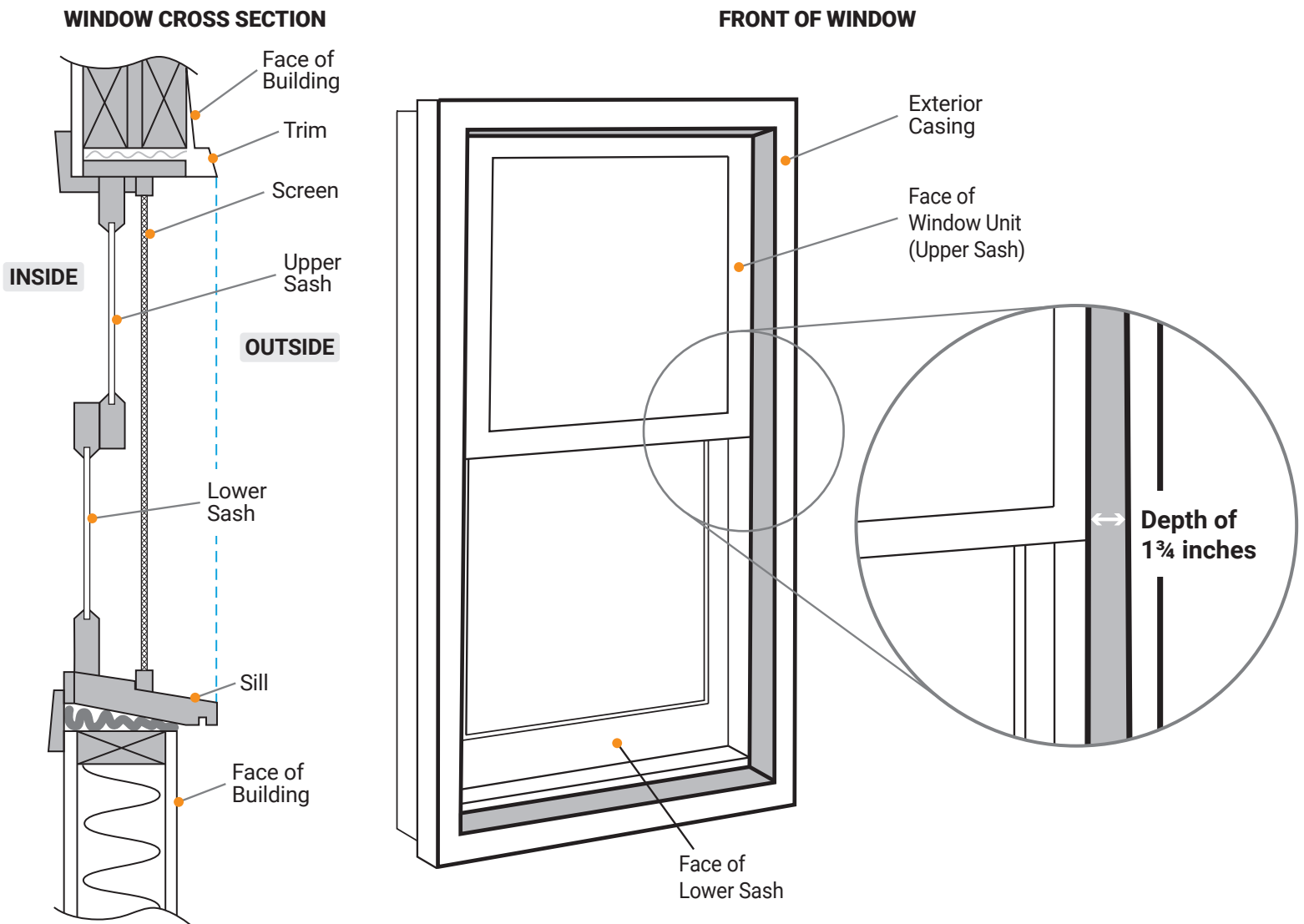
| Air Filled | | Argon Filled | |
|-------------------|-------------------|-------------------|-------------------|
| Low-E 272 Clear | Low-E 366 | Low-E 272 Clear | Low-E 366 |
| U-FACTOR.....0.32 | U-FACTOR.....0.32 | U-FACTOR.....0.28 | U-FACTOR.....0.27 |
| SHGC.....0.30 | SHGC.....0.20 | SHGC.....0.30 | SHGC.....0.20 |
| VT.....0.51 | VT.....0.46 | VT.....0.30 | VT.....0.20 |
| CR.....55 | CR.....56 | CR.....52 | CR.....47 |

All values represent insulated glass units using black warm edge spacer. Additional glazing options available.

For a comprehensive list of glazing configurations, please refer to the Wood Premium Double Hung Product Performance Guide (NFRC) located in the Technical Resources Library on our website.



Historic Window Standard: New Construction & Replacement



Minimum 1 3/4 inch Inset

- Depth from Exterior Casing to the Face of the Window Unit (Upper Sash)
- Windows must be 1-over-1 (equally horizontally divided)
- 1 3/4 inch minimum inset for Fixed Window

For more information contact: Houston Office of Preservation

832-393-6556

historicpreservation@houstontx.gov